



## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA November 10, 2020 6:30 p.m.

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council chambers located at 10 East Center Street. The agenda will be as follows:

Welcome, Pledge, and Introduction

- 1) Proclamation by Planning Commission Chair Regarding Electronic Meeting
- 2) Public comments
- 3) Public Hearing: Consideration of General Plan Amendment, updating the Moderate Housing Element in compliance with Utah State Code 10-9a-408 to annually update the projected 5-year needs for moderate income housing
- 4) Public Hearing: Consideration of a plat amendment for Eaglewood Village Subdivision, lot 1B
- 5) Consideration of site plan approval for Eaglewood Plaza Office Building
- 6) Consideration of Preliminary Plan for Eaglewood Cove PUD, phases 13-15
- 7) Report on City Council actions on items recommended by Planning Commission
- 8) Approval of minutes:
  - a. October 27, 2020

Adjourn

**NOTICE: This meeting will be an electronic meeting online. The host site will be located at 10 East Center Street; members of the public are invited to attend via electronic device at the link below:**

Join Electronic Meeting  
<https://bit.ly/2JDVDv9>

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours notice for adequate arrangements to be made. Times noted on the agenda are estimates only – the Commission may proceed faster or slower than these estimates indicate.

**Notice of Posting:**

I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this 5 day of November, 2020.

Dated this 5 day of November, 2020.

PROCLAMATION  
OF THE  
CITY OF NORTH SALT LAKE  
PLANNING COMMISSION

WHEREAS, the Planning Commission Chair has determined that conducting public meetings of the Planning Commission with an anchor location where the public could attend in person, presents a substantial risk to the health and safety of those who may be present at that location based upon the current Covid-19 pandemic and the limited staff support to properly ensure physical distancing and sufficient disinfection for attendees and staff.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission shall hold meetings for the month of November 2020 by electronic means only, and will not include an anchor location where the public could attend in person.

Dated: November 10, 2020

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Ted Knowlton, Chair



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
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## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Ali Avery, Long Range Planner  
**DATE:** November 10, 2020  
**SUBJECT:** Consideration of a General Plan Amendment updating the Moderate Income Housing Element

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### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the draft update to the Moderate Income Housing Element of the General Plan with the following findings:

1. The state legislature has determined that cities must facilitate a reasonable opportunity for a variety of housing, including moderate income housing; and
2. The proposed draft meets the requirements of the state code to address moderate income housing.

### BACKGROUND

The State Code in section 10-9a-401 requires that municipalities prepare a General Plan to address the present and future needs of the city and guide future growth and development. One of the requirements in a General Plan is a moderate income housing element. The state code requires the following:

- (b) In drafting the moderate income housing element, the planning commission:
- (i) shall consider the Legislature's determination that cities shall facilitate a reasonable opportunity for a variety of housing, including moderate income housing:
    - (A) to meet the needs of people desiring to live there; and
    - (B) to allow persons with moderate incomes to benefit from and fully participate in all aspects of neighborhood and community life; and
  - (ii) may include an analysis of why the recommended means, techniques, or combination of means and techniques provide a realistic opportunity for the development of moderate income housing within the planning horizon, which means or techniques may include a recommendation to:
    - (A) rezone for densities necessary to assure the production of moderate income housing;
    - (B) facilitate the rehabilitation or expansion of infrastructure that will encourage the construction of moderate income housing;
    - (C) encourage the rehabilitation of existing uninhabitable housing stock into moderate income housing;
    - (D) consider general fund subsidies to waive construction related fees that are otherwise generally imposed by the city;

- (E) consider utilization of state or federal funds or tax incentives to promote the construction of moderate income housing;
- (F) consider utilization of programs offered by the Utah Housing Corporation within that agency's funding capacity; and
- (G) consider utilization of affordable housing programs administered by the Department of Workforce Services.

The last update to the Moderate Income Housing Element was in 2018. Each December, cities are required to update the 5-year estimates of moderate-income housing needs, conduct a review of the element and its implementation, and report the findings to the State. This update is the City's attempt to update the data to reflect the current housing needs in North Salt Lake. City staff will report to the state accordingly with the Planning Commission and City Council's findings related to this plan.

### **REVIEW**

The draft Moderate Income Housing Plan for review expands upon the General Plan, Chapter 3, Goal LU-5: *"Enable a supply of housing appropriate for the City's anticipated demographic composition"*. Data was used from the Census, Davis Community Housing Authority, Utah Anti-Discrimination and Labor Division, City building permits, and market information.

### **POSSIBLE MOTION**

I move that the Planning Commission recommend to the City Council the proposed Moderate Income Housing Element as an amendment to the City General Plan with the following findings:

1. The state legislature has determined that cities must facilitate a reasonable opportunity for a variety of housing, including moderate income housing; and
2. The proposed draft meets the requirements of the state code to address moderate income housing.

### **Attachments**

- 1) Draft Moderate Income Housing Plan update



## MODERATE INCOME HOUSING PLAN



~~Adopted April 3, 2018~~ Adopted April 3, 2018; Updated  
November 17, 2020

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# Moderate Income Housing Plan

## Executive Summary

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Affordable housing is fundamental for individuals, households, and communities to thrive and prosper. The purpose of this moderate-income housing element of the general plan is to ensure that the City of North Salt Lake provides a reasonable opportunity for a variety of housing, including moderate income housing, to meet the needs of the population desiring to live in North Salt Lake.

The population of North Salt Lake, along with the Wasatch Front, is projected to increase substantially over the next several years. Approximately ~~31~~29% of all North Salt Lake households are earning a moderate income or less, and the demand for affordable home ownership and rental opportunities will likely increase.

~~The Utah Affordable Housing Forecast Tool (UAHFT), provided by the Utah State Division of Housing and Community Development, Comprehensive Housing Affordability Strategy (CHAS) data~~ indicates that a number of households, particularly those earning a low income are expending a high percentage of their income on housing. A greater supply of affordable rental and owned housing units will be needed to meet the demand of affordable housing in North Salt Lake.

There are some definitive actions that the City can take to increase the availability of affordable housing.

This plan sets forth the following goals to maintain adequate affordable housing choices for current and future residents who wish to reside in the City of North Salt Lake:

- Increase Opportunities for Low to Moderate Income Households to Purchase Affordable Housing.
- Increase Affordable Rental Opportunities for Low to Moderate Income Households.
- Rehabilitate Existing Housing to Increase Rental Properties, Homeownership, Retention, and Reinvestment in North Salt Lake.

\*Go to the Goals section for details and objectives.

# Introduction

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In 1996 the Utah Legislature passed House Bill 295 requiring cities and counties to include an affordable housing element as part of the general plan. Housing is considered affordable when households of various incomes, spend no more than 30% of their gross monthly income on housing expenses. In this plan, housing needs are considered for moderate-income households within the following Area Median Income (AMI) brackets: 1) Low-income [50-80% AMI], 2) Very low-income [30-50% AMI], and 3) Extremely low-income [<30% AMI].

The intent of this affordable housing plan is to ensure that the City of North Salt Lake provides a reasonable opportunity for a variety of housing, including low to moderate income housing, to meet the needs of the population desiring to live in the City. Housing should be encouraged to allow persons earning a moderate income or less to fully participate in, and benefit from all aspects of neighborhood and community life.

## Methods and Terminology

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### Data Methods

City staff utilized the *Utah Affordable Housing Forecast Tool (UAHFT)* to analyze housing needs in the community, based upon the affordability of the existing housing stock. The UAHFT is a housing needs model that projects housing needs based upon current trends of housing affordability and projected population increases. Data for the model is obtained through the US Census, the US Department of Housing and Urban Development, the Utah State Governor's Office of Planning and Budget (GOPB), and other sources. Findings from the model are summarized throughout this document.

In addition to the use of the UAHFT model, City staff extensively researched Census data, including the information from the City's 2013 Census challenge, obtained information from the Davis Community Housing Authority, and from the Utah Anti-Discrimination and Labor Division. City staff also researched city building permit data between the years 2010-202017 to attain housing counts.

### Terminology

The following terms commonly used throughout this document are defined below:

- **Affordable Housing:** Housing for which the occupant is paying no more than 30 percent of his or her income for gross housing costs, including utilities.
- **Area Median Income (AMI):** The Area Median Income is a statistic generated by the U.S. Department of Housing and Urban Development (HUD) for purposes of determining the eligibility of applicants for certain federal housing programs.
- **American Community Survey (ACS):** The American Community Survey is an ongoing survey by the U.S. Census Bureau. It regularly gathers information previously contained only in the long form of the decennial census, such as ancestry, educational attainment, income, language proficiency, migration, disability, employment, and housing characteristics. Sent to approximately 295,000 addresses monthly, it is the largest household survey that the Census Bureau administers.

- Comprehensive Housing Affordability Strategy (CHAS): Custom tabulations of American Community Survey (ACS) data that demonstrate the extent of housing problems and housing needs, particularly for low income households.
- Utah Affordable Housing Forecast Tool (UAHFT): The UAHFT is a housing needs model that projects housing needs based upon current trends of housing affordability and projected population increases.
- Low to Moderate Income Households (LMI): Low to Moderate Income households refer to households whose income does not exceed 115 percent of the median income for the area when adjusted for family size.
- U.S. Department of Housing and Urban Development (HUD): HUD is a Cabinet department in the Executive branch of the United States federal government.
- Cost burdened households: Households spending more than 30 percent of their income for housing costs are considered to be cost burdened.

## Demographics

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### Population Change and Affordable Housing Demand

The population estimates for North Salt Lake based upon the 2010 Census projected an increase of 16,322 in 2010 to 20,648 by 2020, 24,879 by 2025, and 26,12028,644 by 2030. These additional residents amount to an additional 1,418 households by 2020, 2,766 households by 2025, and an additional 3,2123,965 households by 2030, based on the city's current average household size (3.053.05 in 2010 and 3.14 thereafter).

Actual building permit data demonstrates that 1,6942,169 dwelling units were constructed between 2010 and 20182020. The current estimated population as of 2018 2020 is 22,13423,626, exceeding the 2020 projection. Current housing stock consists of 2,0902,230 multi-family rental units, 439 individually owned townhomes or condos, 497 mobile homes, and 4,1014,875 single family dwellings and individually owned townhomes or condos.

~~Based on anticipated population growth and the existing vacancy rate, it is projected that North Salt Lake will need an additional 1,347 housing units by 2020. Of those 1,347 units, 130 will need to be affordable to extremely low-income ( $\leq 30\%$  AMI) households, 84 will need to be affordable to low-income ( $>30\%$  to  $\leq 50\%$  AMI) households, and 209 will need to be affordable to moderate-income ( $>50\%$  to  $\leq 80\%$  AMI) households.~~

~~Based on anticipated population growth and the existing vacancy rate, it is projected that North Salt Lake will need an additional 1,704 housing units by 2030. Of those 1,704 units, 165 will need to be affordable to extremely low-income ( $\leq 30\%$  AMI) households, 106 will need to be affordable to low-income ( $>30\%$  to  $\leq 50\%$  AMI) households, and 264 will need to be affordable to moderate-income ( $>50\%$  to  $\leq 80\%$  AMI) households.~~

### Ethnic and Racial Minority Populations

According to the 2010 US Census, 19% of the population of North Salt Lake reported a race other than "white". For a complete description of North Salt Lake's Ethnic and Racial makeup see the graph below.

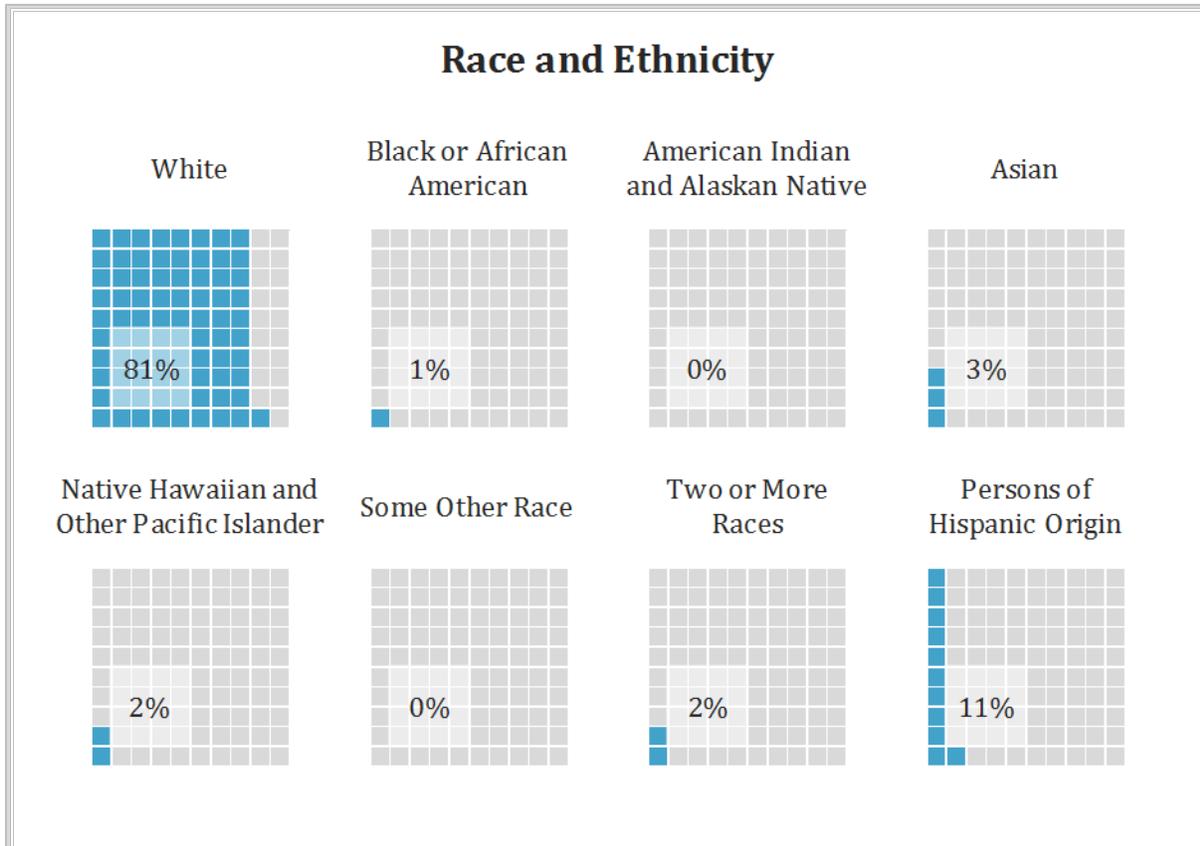


Figure 1: Race and Ethnicity  
Source: 2010 US Census

Racial and ethnic minority status is correlated with poverty level. In North Salt Lake, 9.26.8% of the entire population is reported to be below the poverty level. For example, approximately 10.48.9% of the “Hispanic or Latino” population is below the poverty level, while 5.33.4% of the “white alone, not Hispanic or Latino” population is below poverty (ACS, 20113-20157 estimates). The poverty rates by race are identified below:

- White alone: 5.53.7%
- Black or African American alone: 27.314.8%
- American Indian and Alaska Native alone: 0%
- Asian alone: 36.431.8%
- Native Hawaiian and Other Pacific Islander alone: 82.676.2%
- Some other race alone: 12.713.4%
- Two or more races: 13.43.3%

Because of this correlation, any deficiencies in low to moderate income housing units available, disproportionately impacts minority populations.

Typically, racial minority populations are more likely to be renter households than owner households. However, 3436% of all of the minority householders in North Salt Lake are renters with 6664% of the minority householders in owner-occupied housing. The only minority population in North Salt Lake that has a

higher rental rate than ownership rate is the “Native Hawaiian and Other Pacific Islander alone population”, which also has the highest poverty rate in the City. Therefore, lack of affordable rental housing disproportionately impacts that particular minority population in the City.

## Special Needs Population

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It is important to the City of North Salt Lake to address affordable housing for those with special needs. People with special needs may include vulnerable populations such as senior citizens, people with disabilities, the homeless, or those otherwise in need of specialized or supportive housing.

### Disabled

People with disabilities under the age of 65 comprise approximately ~~5-16.3~~5.16.3% of the population in North Salt Lake, or ~~960-1,147~~960,147 individuals. It is estimated that ~~36-635.4~~36.635.4% of all Americans 65 or older have some form of disability. According to the ACS approximately ~~331-275~~331,275 people, or ~~27-824.9~~27.824.9% of North Salt Lake residents over 65 have a disability. People with disabilities often face financial and social difficulties that make it difficult to obtain housing. Programs that are geared toward helping people with disabilities obtain housing include: low rent and public housing voucher programs, assistance through centers of independence, and employment and training resources.

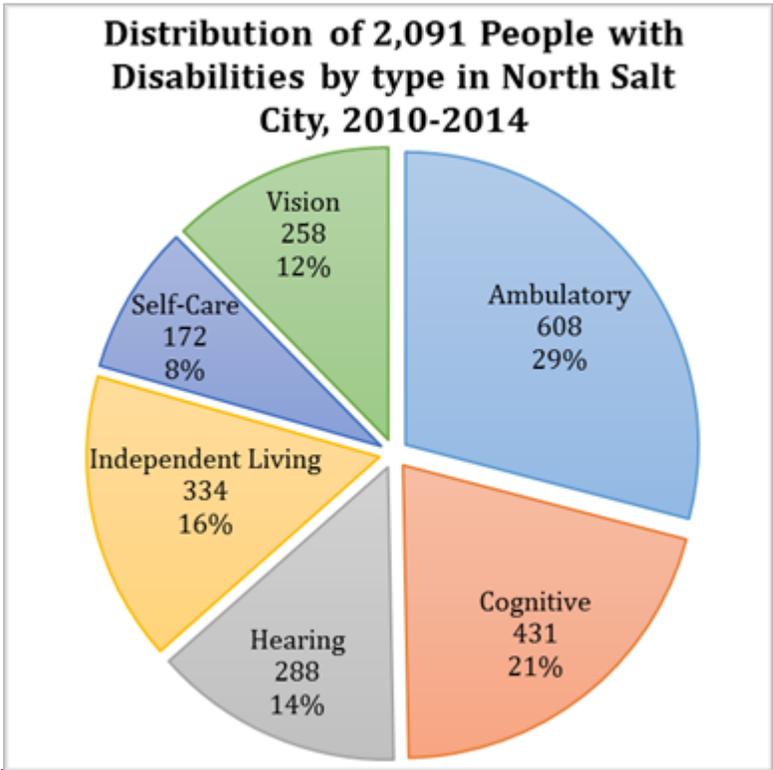
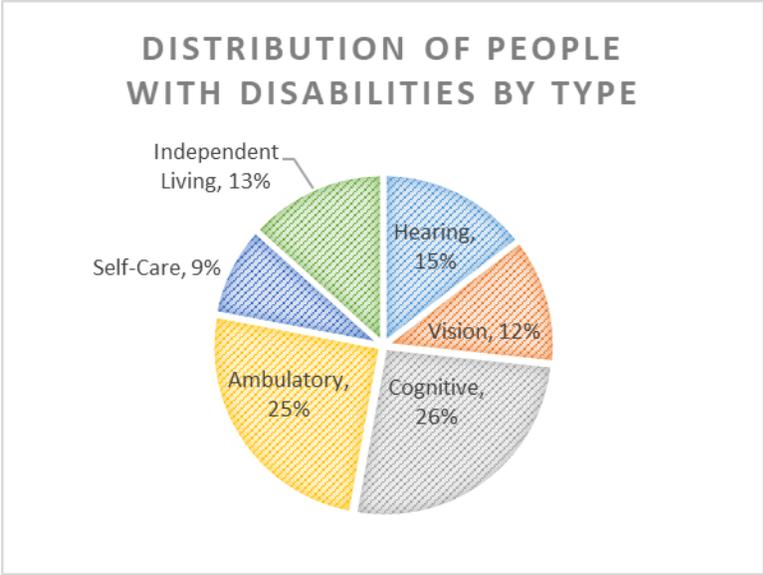


Figure 2: Distribution of ~~2,091~~ People with Disabilities by type ~~on North Salt Lake City, 2010-2014~~  
 Source: ~~2012-2016~~ U.S. Census Bureau, 2017 ACS 5-year estimates

Housing affordability is a particular concern for people with disabilities in the City of North Salt Lake. The median income of an individual with a disability was ~~\$30,292~~\$40,050 per year, which is ~~42~~52% of North Salt Lake’s 2017 median household income of ~~\$71,758~~\$77,011. At this rate, people with a disability earned a gross income of ~~\$2,524~~\$3,338 per month or ~~\$14.56~~\$20.86 per hour. The median gross rent in the city is ~~\$996~~\$1,030 per month, according to the 20176 ACS estimates. This means that a single income householder with a

disability would pay 39.431% of their income on rent, which is 9.41% more than standards set by U.S. Dept. of Housing and Urban Development and most banks. At a minimum, a person with a disability would need to earn \$19.1521.46 per hour to afford the median gross rent in the City.

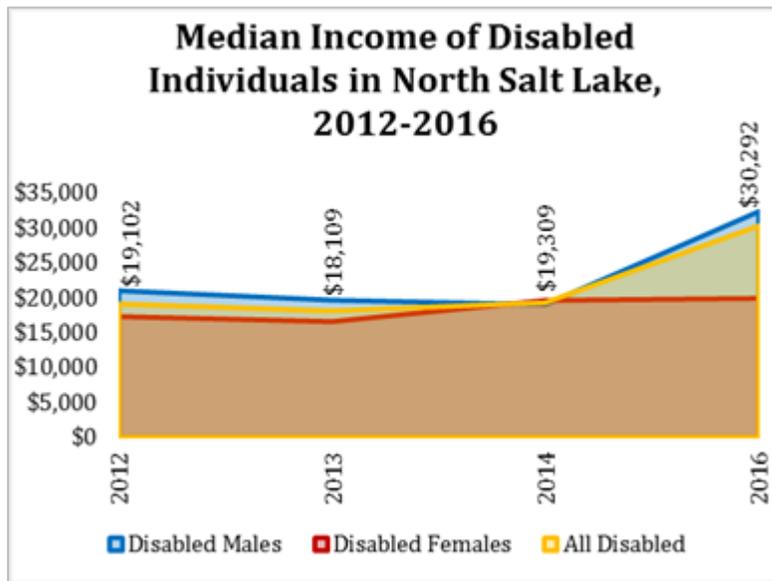
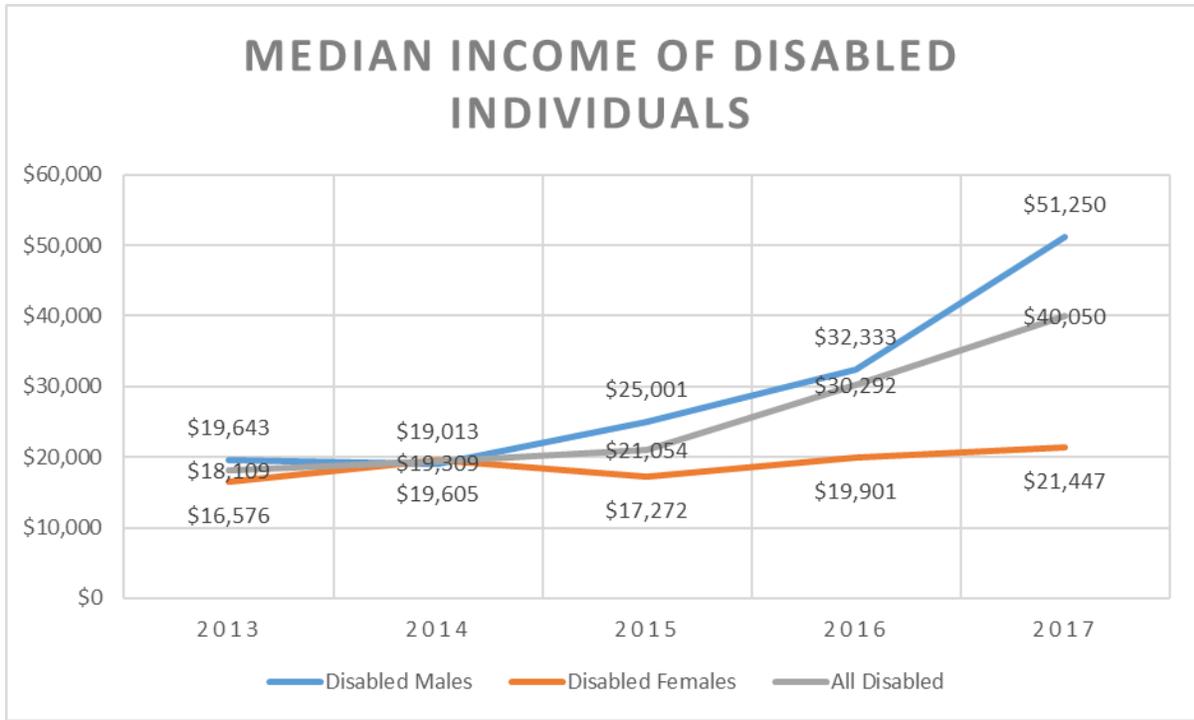


Figure 3: Median Income of Disabled Individuals in North Salt Lake, 2012-2016  
 Source: ~~2012-2016~~ U.S. Census Bureau, 2017 ACS 5-year estimates

## Seniors/Elderly

About 6.5 percent of North Salt Lake's population was 65 and older as of the 2010 U.S. Census. The share of the city's population that is 65 and older is expected to remain approximately the same from 2010 to 2020 and then increase to 8.2 percent by the year 2030. Some elderly individuals may not be able to remain in their homes or may choose to relocate to a dwelling type that better suits their preferences and needs. The legislative body of North Salt Lake recognizes the need to evaluate the housing options available to seniors wishing to remain in or move to the community.

## Homeless

According to the ~~2016-2020~~ annualized Point in Time count, roughly 0.1% of Utah's population is homeless. Although regional differences may impact the rate of homelessness, this percentage can be used to estimate the number of homeless individuals in North Salt Lake, which is approximately ~~1624~~. ~~North Salt Lake has enacted a~~The City participates in a low income emergency housing repair grant program to address the needs of the low income population, who may be at risk of becoming homeless due to the cost of home repairs. This program is funded through the Community Development Block Grant program and administered by the Davis Community Housing Authority.

## Veterans

Based on the ~~20123-20167~~ American Community Survey, veterans account for approximately 4.53% of North Salt Lake's population, or ~~581-565~~ people. Men make up ~~9691.7~~% of those veterans and women ~~48.3~~%. There are ~~233-180~~ veterans, or ~~40.131.8~~% of North Salt Lake's veteran population who are 65 and older. Also, ~~120-124~~ veterans in North Salt Lake were reported as having some form of disability, which amounts to 6% of the city's disabled population being veterans. Of the ~~348-327~~ working aged veterans (18 to 65 years old), ~~155.5~~% or ~~5118~~, were unemployed compared to ~~4.73.5~~% of the general population. There were no veterans who reported living below the poverty level, which is ~~6.77.1~~% lower than the city as a whole. Nevertheless, the median income of a veteran is \$~~46,75848,836~~ per year compared to the city's median household income of \$~~71,75877,011~~. This suggests that a single income household with a veteran is less likely to afford the median housing unit in the city. Given these estimates, the City should work with the Utah Department of Workforces Services to consider strategies to lower the unemployment rate among working-aged veterans.

## Analysis of Special Needs Housing

Although there is a significant population of seniors and people with disabilities, there is currently a deficiency of housing specifically designated for this segment of the population in North Salt Lake. As the city grows, the need for specialized housing will likely continue to increase and the city should evaluate and monitor current zoning regulations to assure that there are minimal regulatory barriers to constructing this type of housing.

# Housing Demand

## New Housing Demand

Based upon the projected increase in population, observed income levels, and existing vacancies; the UAHFT Housing Model estimates that the demand for new housing units from 2010 to 2020 was 1,347 units. The model recommends that 423 of those units be constructed for low to moderate income households. The demand for new units from 2020 to 2030 is estimated at 1,704, of which 535 should be for low to moderate income households. ~~The chart below summarizes the projected demand for new housing in North Salt Lake across various income groups.~~

During the period from 2010 to ~~2017-2020~~ there were ~~1,831,326~~ residential units constructed ~~with an additional 300 units projected for the remainder of the decade~~. Of those residential units ~~704,864~~ units (387%) were rental apartments. Construction has outpaced the forecasted housing demand during this period by more than one-third.

~~The Department of Workforce Services’ Five Year Projection Calculator shows the housing gap for 2016 and 2020, and the progress that has been made in providing moderate-income housing between those years. See the table below for the results of that calculation:~~

<b>2020 Shortage</b>	Renter Households	Affordable Rental Units	Available Rental Units	Affordable Units - Renter Households	Available Units - Renter Households
≤ 80% HAMFI	995	1,410	995	415	0
≤ 50% HAMFI	530	540	230	10	-300
≤ 30% HAMFI	375	130	45	-245	-330

<b>2016 Shortage</b>	Renter Households	Affordable Rental Units	Available Rental Units	Affordable Units - Renter Households	Available Units - Renter Households
≤ 80% HAMFI	855	1,225	845	370	-10
≤ 50% HAMFI	580	495	225	-85	-355
≤ 30% HAMFI	355	145	25	-210	-330

<b>PROGRESS</b>	Renter Households	Affordable Rental Units	Available Rental Units	Affordable Units - Renter Households	Available Units - Renter Households
≤ 80% HAMFI	140	185	150	45	10
≤ 50% HAMFI	-50	45	5	95	55
≤ 30% HAMFI	20	-15	20	-35	0

~~The City has made good progress in providing rental housing for households in the low to moderate income ranges. There is still improvement that can be made in the very low income (≤ 30% HAMFI) level.~~

## Income

Analyzing the income of North Salt Lake’s residents is critical to understanding the City’s affordable housing need, because housing affordability at the household level is a direct function of income.

Because the cost of living is relative to the area in which the residents live and to household size, the U.S. Department of Housing and Urban Development (HUD) use a measure called the Area Median Income (AMI). The estimated AMI for ~~North Salt Lake~~Davis County as of ~~2016-2017~~ was ~~\$71,758~~\$75,961. The AMI is the standard to determine housing attainability of the population. The chart below categorizes household income levels by AMI, and illustrates the number of North Salt Lake households whose total income falls within each income bracket.

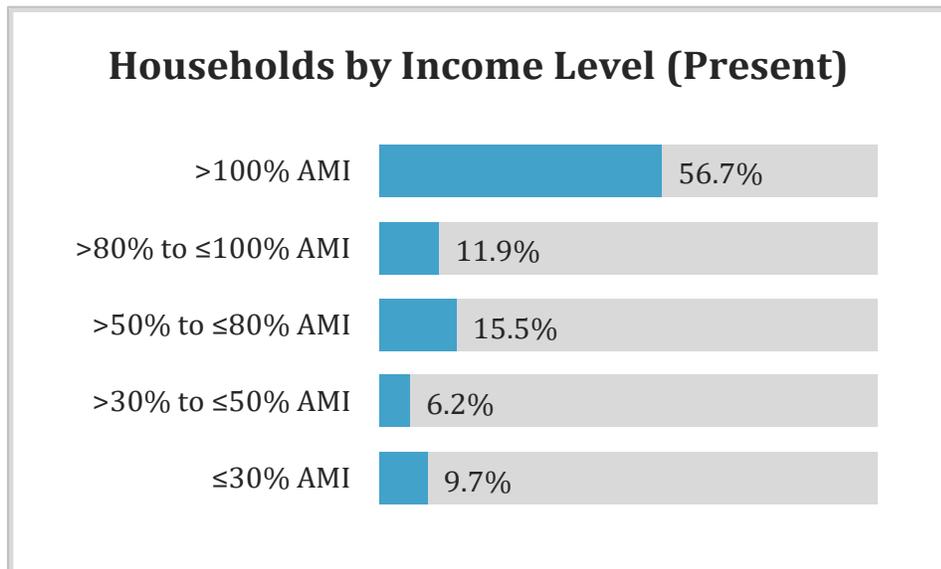
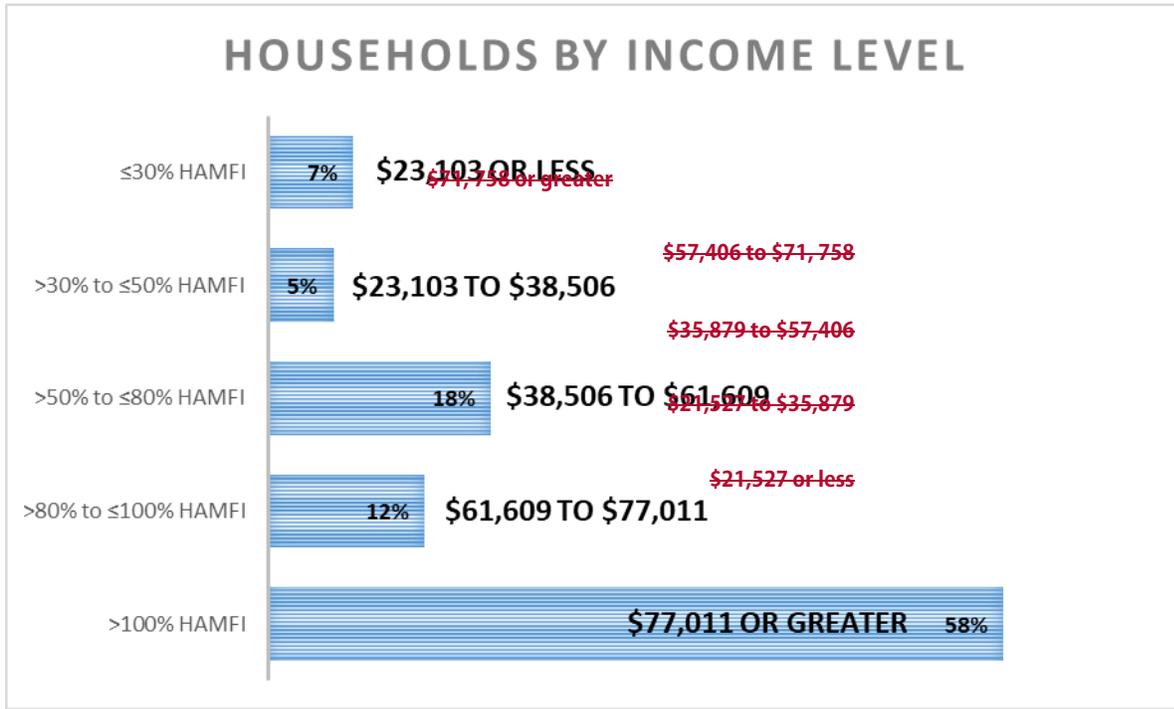


Figure 4: Households by Income Level ~~(Present)~~  
 Source: ~~UAHFT Tool~~, CHAS 2017

## Analysis of Income

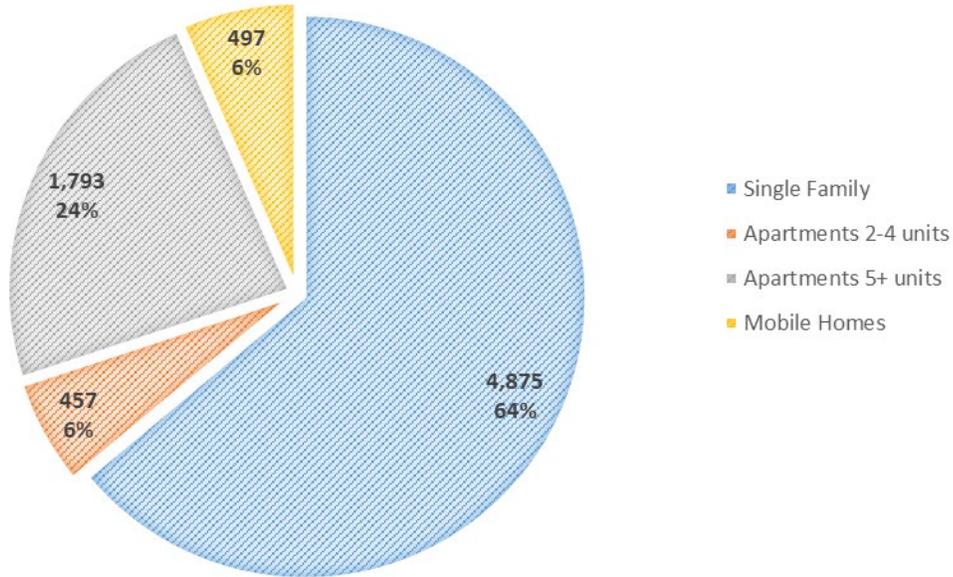
A moderate income is considered to be 80% of the AMI. There are 1,6001,820 (31.429.5%) households in North Salt Lake with a household income categorized as moderate or less. As of 20167, 80% of the AMI equals an annual household income of \$57,40660,769. An estimated 496415, or 9.76.7% of households in North Salt Lake earn just equal to or less than 30% of the AMI, or \$21,52722,788 annually. The households that earn just 30% of the AMI find it very difficult to live within the affordable housing guidelines since they cannot afford average market rental rates. It is vital to the well-being of the community that households of all income levels have affordable housing options.

## Housing Supply

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As of ~~January 2018~~ November 2020, the housing stock in North Salt Lake is primarily made up of single family homes, with a limited supply of multi-family housing and mobile homes. The city records demonstrate there are 7,1277,622 housing units currently built within the city. The composition of those units are shown in Figure 5 below:

## HOUSING STOCK IN NORTH SALT LAKE



## Housing Stock in North Salt Lake (2018)

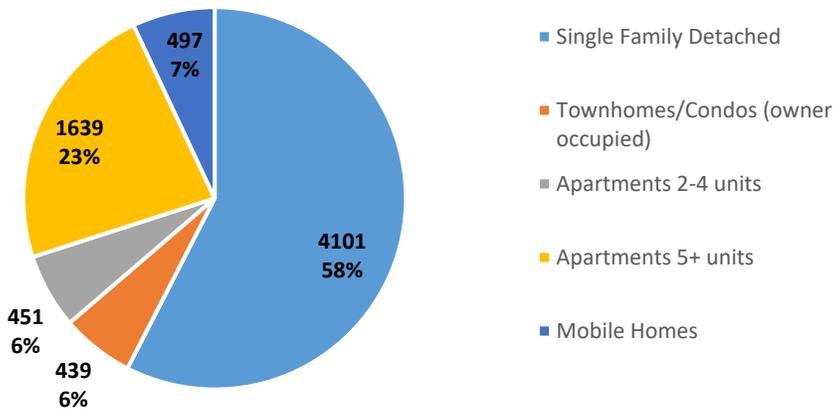


Figure 5: Housing Stock in North Salt Lake ~~(2018)~~

Source: ~~2018-2020~~ NSL Building Permit Data

## Housing Occupancy and Vacancy

According to the ~~2010 Census data~~ 2017 American Community Survey (ACS), there were 5,638,381 housing units in North Salt Lake. The city, at that time, had a 53.1% vacancy rate. Of those occupied units, 7472.8% or 5,353,493 units were owner occupied and 2627.2% or 1,374,168 units were rented. According to the 2015 American Community Survey (ACS), the occupancy of rental units ~~has increased~~ in Utah ~~to is~~ 3330.4% of all households, in general.

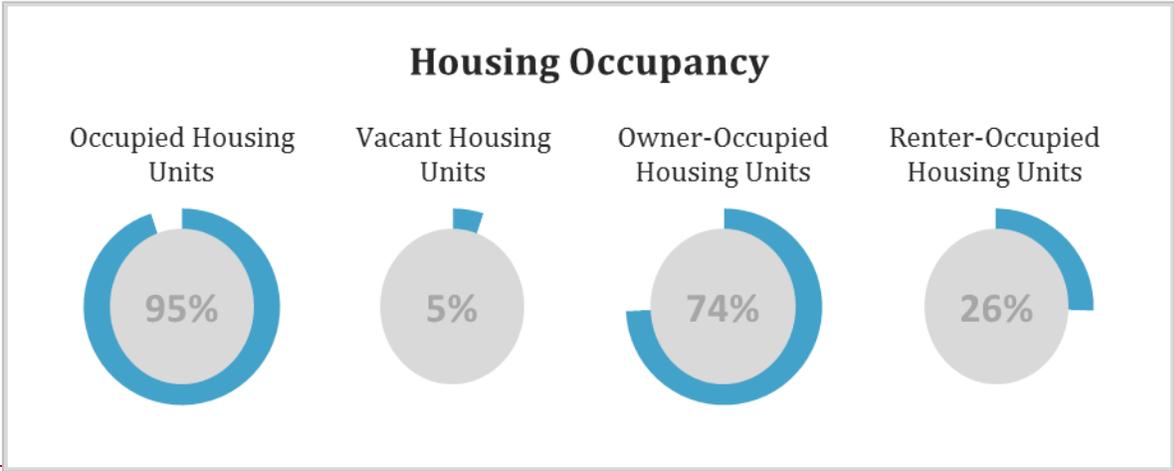
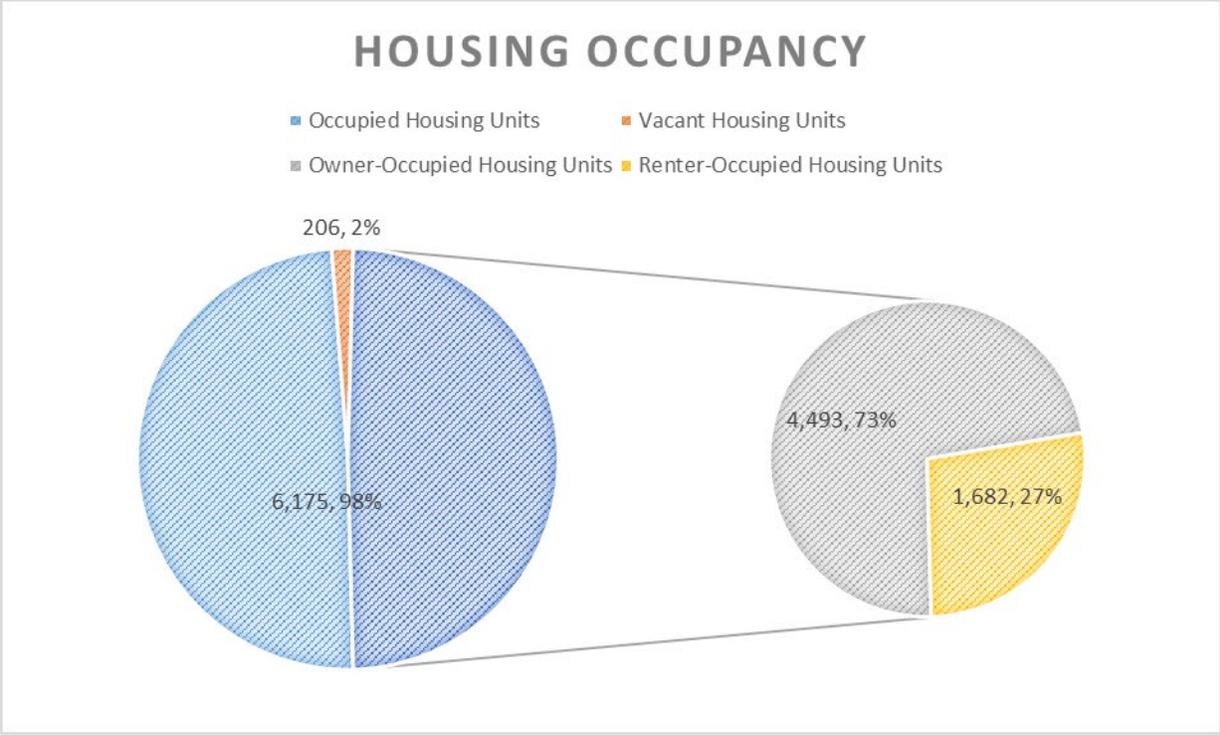


Figure 6: Housing Occupancy  
 Source: ~~2010 U.S. Census (Davis County)~~ U.S. Census Bureau, 2017 ACS 5-year estimates

## Age of Housing Stock

Approximately **48.56%** of the housing stock in North Salt Lake was built in 2000 or later, with approximately **11.6%** built before 1959. Although much of the housing stock is relatively new, approximately **52.30%** of the housing stock is over 30 years old, which requires ongoing maintenance to adequately meet the demand for affordable housing.

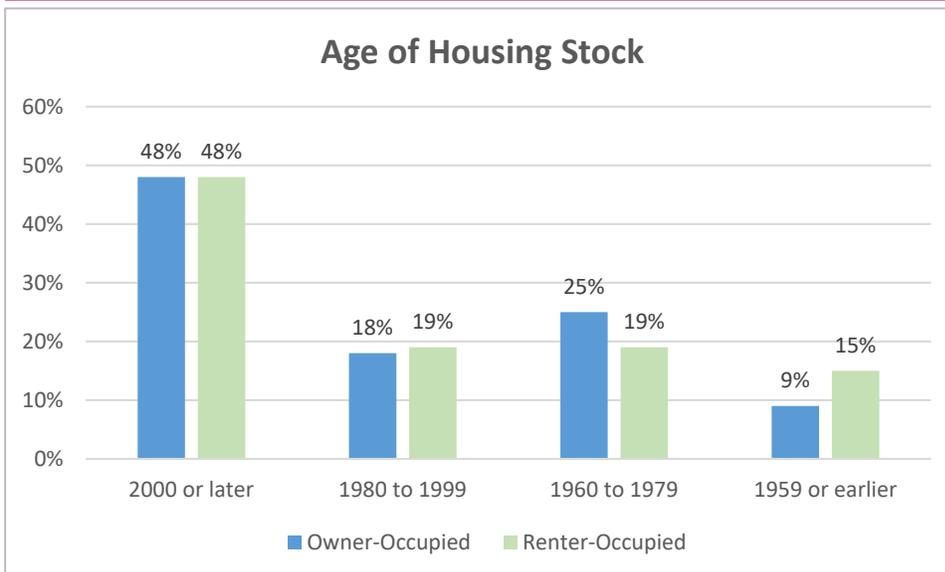
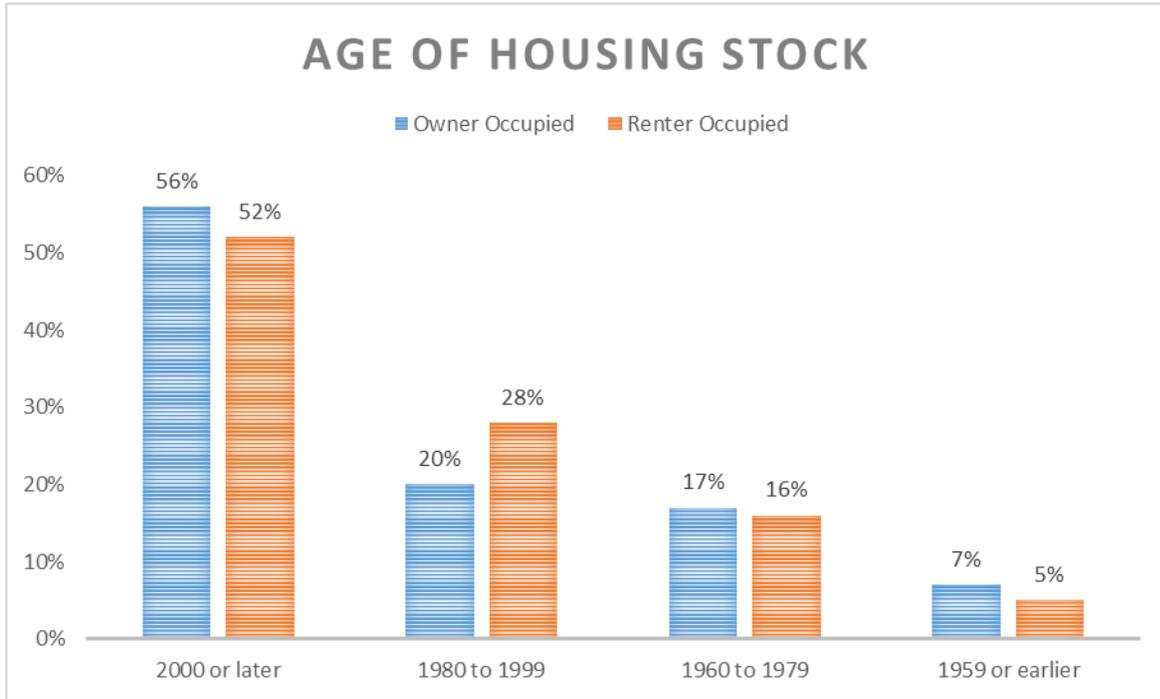


Figure 7: Age of Housing Stock

Source: U.S. Census Bureau, 2015 [American Community Survey ACS](#) 5-Year Estimates

# Housing Affordability

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The affordability of the housing stock is determined based upon the Area Median Income (AMI) and the amount that a household at each income level can afford. According to current State and Federal definitions, housing is considered affordable when a household spends no more than 30% of their annual income on housing expenses, including mortgage or rent and utilities. Those that spend more than 30% of their monthly income on housing expenses are considered “cost-burdened” and are referred to as such throughout this document.

In ~~North Salt Lake~~Davis County, the ~~2016-2017~~ (AMI) was \$71,75875,961 annually or \$5,9806,330 monthly. Based upon this standard, mortgage or rent and utilities should not exceed \$1,7941,899 per month for a median income earning household to be considered affordable.

The purpose of this plan is to ensure that housing is affordable for all income levels, not just those earning a median income or higher. The same affordability standards apply to households that earn less than the AMI. For example, a moderate income household in North Salt Lake earns 80% of the AMI, which is \$57,40660,769 annually or \$4,7845,064 monthly. In order to remain affordable for this household income, mortgage or rent and utilities should not exceed \$1,4351,519. The table below summarizes the maximum monthly affordable housing costs for various income levels in North Salt Lake.

SUMMARY OF AFFORDABILITY		
Household Income	Maximum Monthly Income for Housing Expenses	Maximum Mortgage Loan Amount
≤30% AMI	\$578	\$138,100
>30% to ≤50% AMI	\$962	\$229,849
>50% to ≤80% AMI	\$1,519	\$253,700
>80% to ≤100% AMI	\$1,925	\$459,936

Summary of Affordability		
Household Income	Maximum Monthly Income for Housing Expenses	Maximum Mortgage Loan Amount
<i>≤30% AMI</i>	\$545	\$38,877
<i>&gt;30% to ≤50% AMI</i>	\$908	\$101,945
<i>&gt;50% to ≤80% AMI</i>	\$1,453	\$196,545
<i>&gt;80% to ≤100% AMI</i>	\$1,817	\$259,612

Figure 8: Summary of Affordability

Source: [UAHFT Tool, 2013](#) [U.S. Census Bureau, 2017](#) CHAS

## Available Housing Prices

Property research conducted on [www.realtor.com](#) indicates that there were currently ~~102~~90 total ~~properties~~ ~~homes~~ for sale in North Salt Lake as of ~~December 2017~~November 2020. There were ~~17~~13 properties listed for rent on [www.zillow.com](#) or other sites used for listing property rentals.

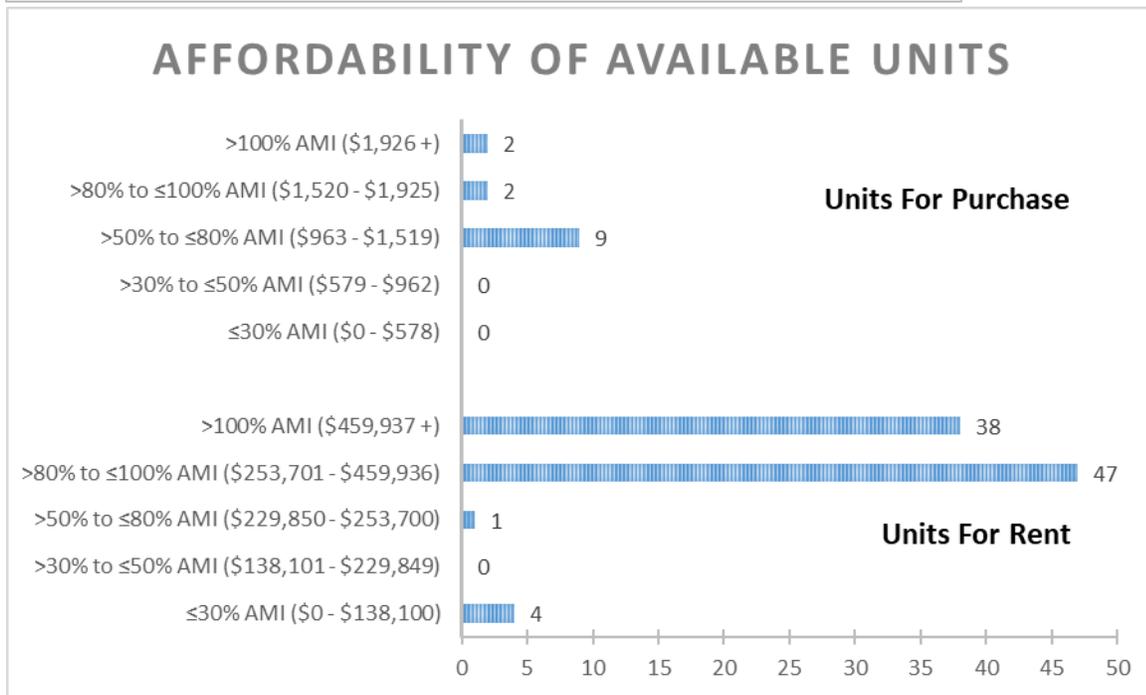
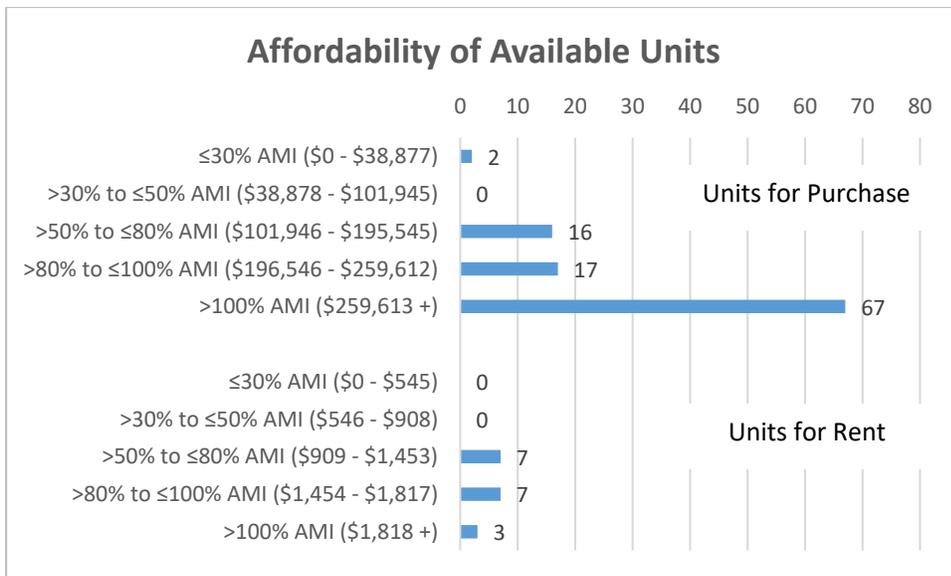


Figure 9: Affordability of Available Units

Source: [2016-2017 HUD User Income Limits](#), Realtor.com, Zillow.com

## Affordability of Home Ownership

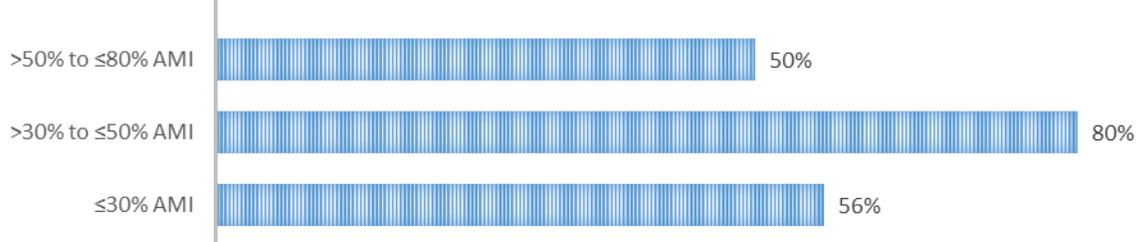
A monthly budget of [\\$1,435,519](#) for housing and utility expenses would support a mortgage of approximately [\\$193,410,253,700](#) based on a 30-year fixed rate loan at [3.712.943%](#) interest, an average monthly utility bill of \$321, and a 0% down payment. Homes valued at or below [\\$193,410,253,700](#) are considered affordable for moderate income earning households in North Salt Lake.

Approximately ~~31.429~~ (1,600,820) of all households in North Salt Lake earn a moderate income or below. Although there are a limited number of units listed for sale, ~~185.5~~ (1018 units) of those listed on [www.realtor.com](http://www.realtor.com) are affordable to moderate income households.

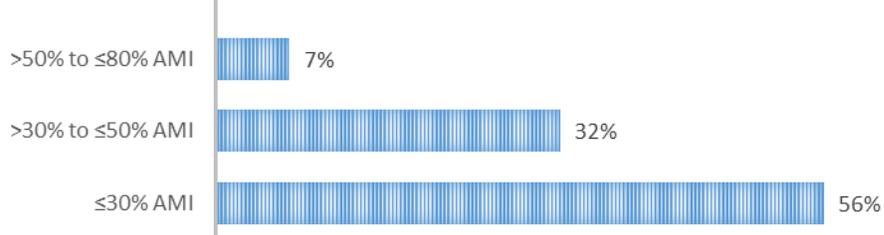
There are many owner occupied households that cannot afford the housing in which they live. The ~~UAFH~~ [Housing Model 2013-2017 ACS](#) estimates that ~~50.550~~ of the owner occupied households earning a moderate income (50-80% AMI) are cost-burdened, and ~~55.753.3~~ of the LMI population is cost burdened.

## COST BURDENED OWNER HOUSEHOLDS

### Households Spending 30% or More of Monthly Income on Housing (by Income Level)

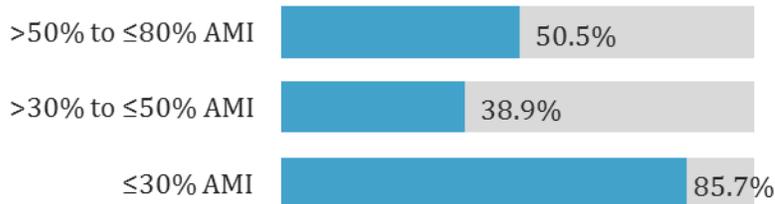


### Households Spending 50% or More of Monthly Income on Housing (by Income Level)



## Cost Burdened Owner Households

### Households Spending 30% or More of Monthly Income on Housing (by Income Level)



### Households Spending 50% or More of Monthly Income on Housing (by Income Level)

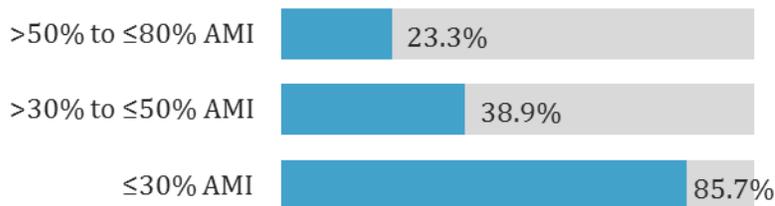


Figure 10: Cost Burdened Owner Households

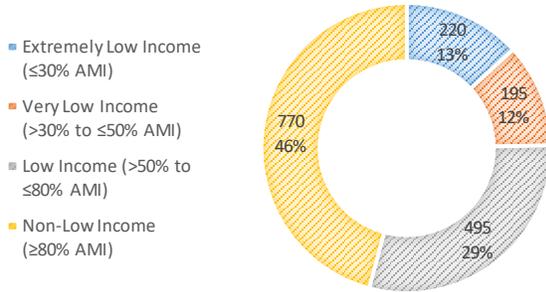
Source: [UAHFT Tool, 2013 CHAS](#) [U.S. Census Bureau, 2017 CHAS](#)

## Affordability of Rent

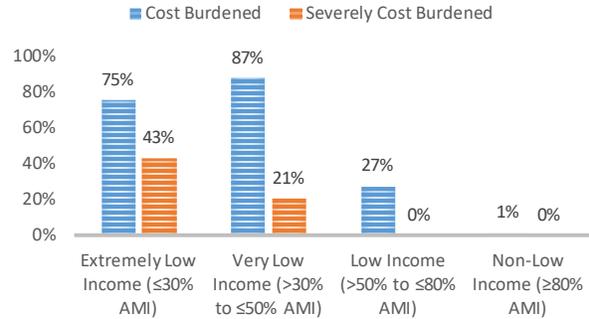
According to the [2017](#) American Community Survey (ACS) estimates there are [1,3741,682](#) occupied units paying rent in North Salt Lake. Further, the median monthly [gross housing cost/rent](#) for these households is [\\$1,2031,030](#). According to Zillow.com the median cost of rent for available units in the City was [\\$1,4631,295](#). [69% \(9 units\) of the rental units listed on zillow.com are affordable to moderate income households](#). While those earning a moderate income or greater (80% or more of AMI) may not find these rates unaffordable, households earning 50% or less of the AMI- may find it difficult to afford median rental rates. With a monthly budget for housing expenses of [\\$908.26962.64](#), households earning below 50% of AMI income levels find it more difficult to afford rent. [20137](#) CHAS estimates indicate that [69.628.5%](#) of rental households in North Salt Lake are cost burdened. The charts below are generated from the UAHFT tool, and display the percent of Cost Burden Households and extremely Cost Burdened Households by income level.

## NORTH SALT LAKE'S AFFORDABLE AND AVAILABLE RENTAL HOUSING DEFICIT, 2020

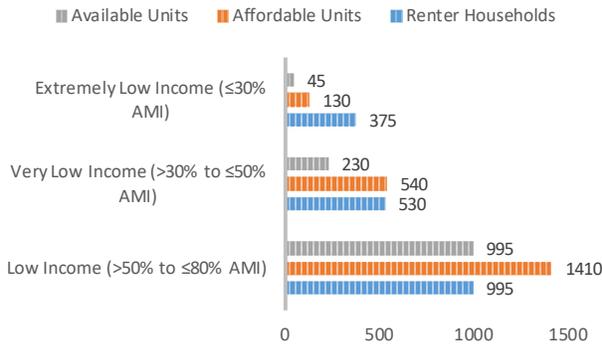
### RENTER HOUSEHOLDS BY INCOME LEVEL



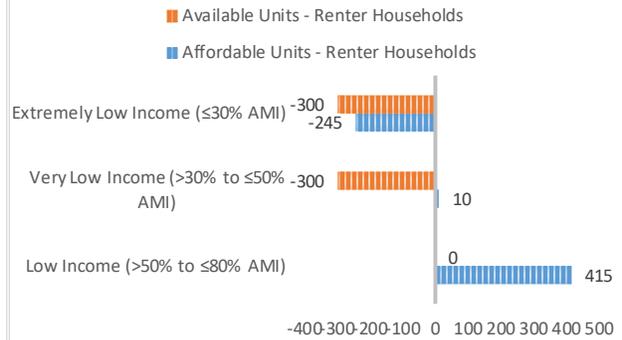
### PROPORTION OF COST BURDENED RENTER HOUSEHOLDS



### AFFORDABLE & AVAILABLE RENTAL HOUSING GAP



### AFFORDABLE & AVAILABLE RENTAL HOUSING DEFICIT

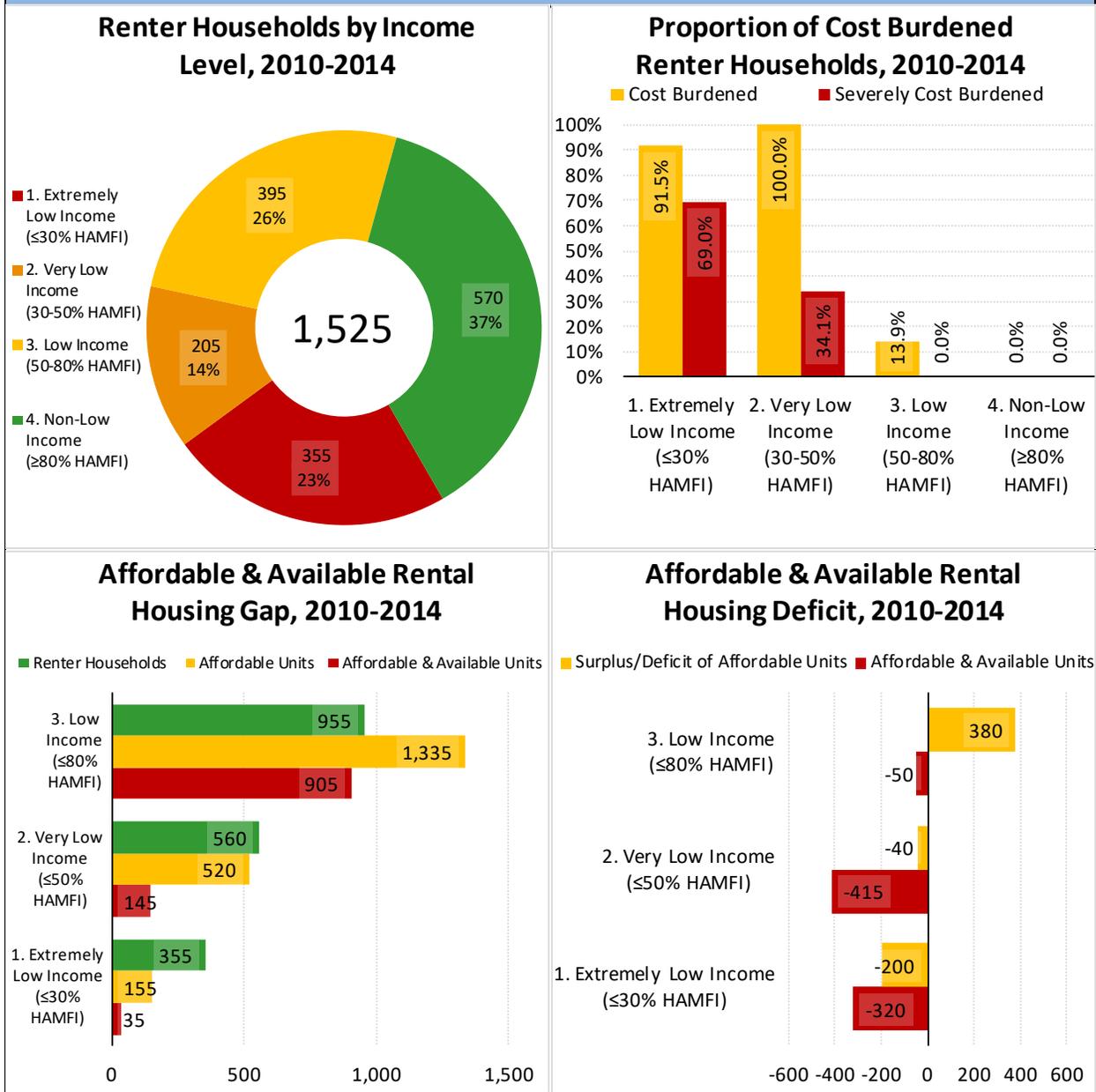


**Source:** U.S. Dept. of Housing & Urban Development. (2017) *Comprehensive Housing Affordability Strategy*

**Note 1:** A household is cost burdened if it expends more than 30% of its gross income on housing and utility costs. A household is severely cost burdened if it expends 50% or more of its gross income on housing and utility costs.

**Note 2:** An affordable unit is one which a household at the defined income threshold can rent without paying more than 30% of its gross income on housing and utility costs. A unit is affordable and available only if that unit is both affordable and vacant, or is currently occupied by a household at or below the defined income threshold.

## North Salt Lake's Affordable & Available Rental Housing Deficit, 2010-2014



**Source:** U.S. Dept. of Housing & Urban Development. (2016). Comprehensive Housing Affordability Strategy [Data]. Available at: [https://www.huduser.gov/portal/datasets/cp.html#2010-2014\\_data](https://www.huduser.gov/portal/datasets/cp.html#2010-2014_data)

**Note 1:** A household is cost burdened if it expends more than 30% of its gross income on housing and utility costs. A household is severely cost burdened if it expends 50% or more of its gross income on housing and utility costs.

**Note 2:** An affordable unit is one which a household at the defined income threshold can rent without paying more than 30% of its gross income on housing and utility costs. A unit is affordable and available only if that unit is both affordable and vacant, or is currently occupied by a household at or below the defined income threshold.

Figure 11: ~~North Salt Lake's Affordable & Available Rental Housing Deficit, 2010-2014~~  
 Sources: ~~UAHFT Tool, 2013 CHAS~~ U.S. Census Bureau, 2017 CHAS

## Section 8 Housing Choice Voucher Program

The Davis Community Housing Authority participates in the Section 8 Housing Choice Voucher Program. Through this program, the Housing Authority subsidizes the balance of any rent payment that exceeds 30% of a very low-income renters' monthly income. As of 2018, the Davis Community Housing Authority has record of ~~forty-nine (49)~~thirty-three (33) active Section 8 Housing Choice Vouchers in North Salt Lake. City staff analyzed the locations of the vouchers and determined that they can be categorized in the following ways:

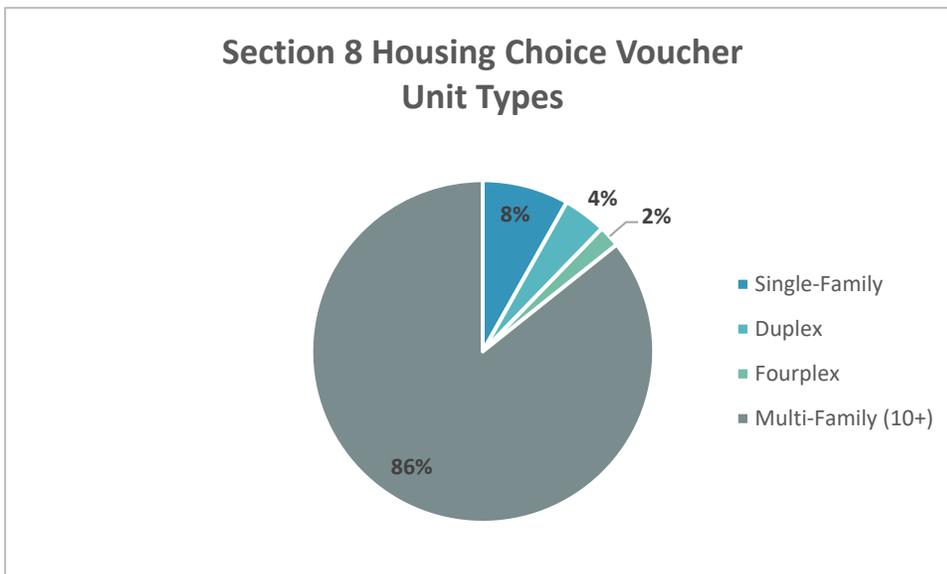
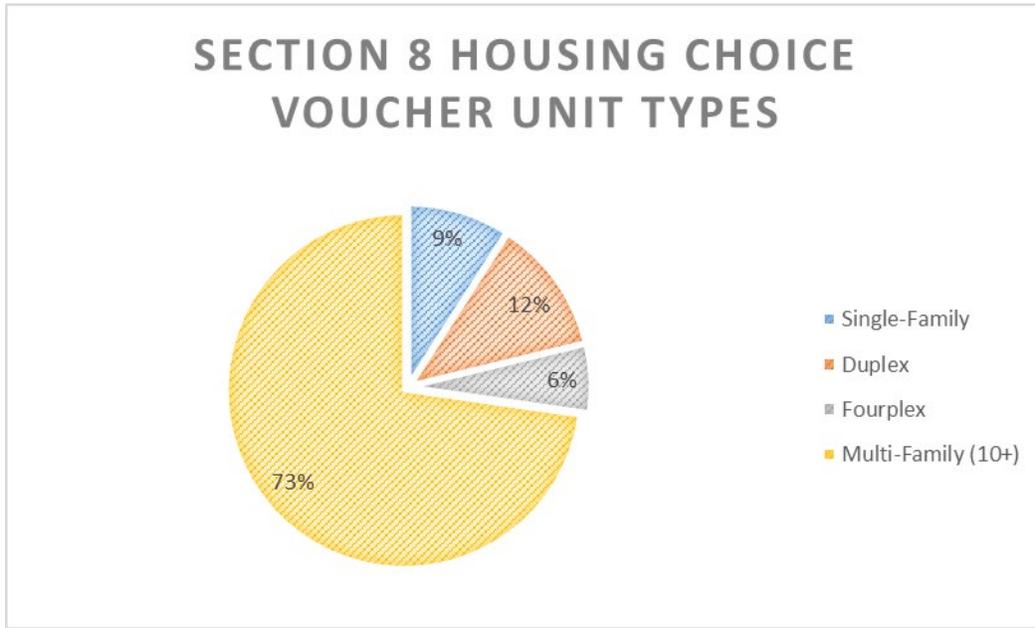
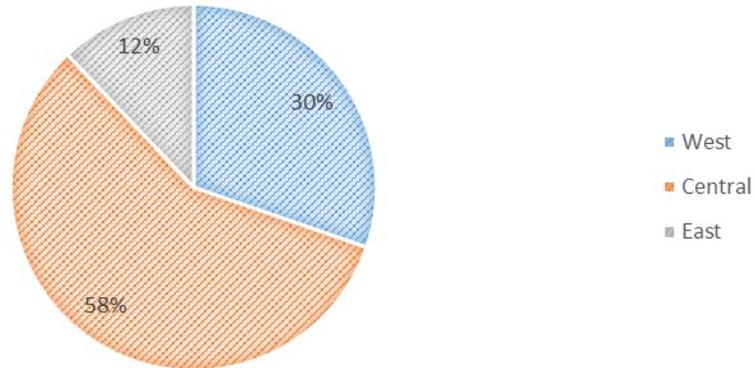


Figure 12: Section 8 Housing Choice Voucher Unit Types  
Source: ~~2020~~2018 Davis Community Housing Authority

## SECTION 8 HOUSING CHOICE VOUCHER LOCATIONS



## Section 8 Housing Choice Voucher Locations

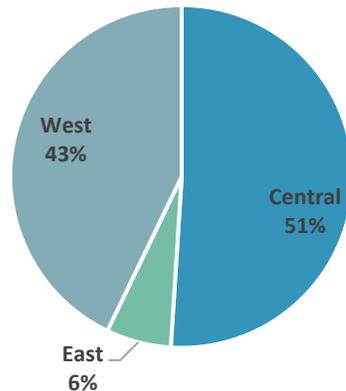


Figure 13: Section 8 Housing Choice Voucher Locations

Source: ~~2020~~2018 Davis Community Housing Authority

This data reflects the need for more affordable housing options to be provided throughout the City. The data also demonstrates that the current availability for very low-income housing is primarily located in multi-family housing developments. The City has recently allowed for alternative methods of providing additional affordable housing options in existing single family neighborhoods, including accessory dwelling units and short-term rentals. ~~The City should explore alternative methods of providing additional affordable housing options in existing single family neighborhoods. Options to consider would be code amendments that permit basement apartments, mother-in-law suites, detached accessory dwelling units, "tiny" homes, etc. within traditionally single family zones.~~ These types of units appeal to and can provide affordable housing opportunities for young families, single young adults, and seniors.

# Zoning Regulatory Environment

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In order to evaluate the potential for moderate income housing in the community, it is important to understand the regulatory environment for residential housing. Zoning regulations govern the use, lot size, and building size for new developments. These regulations have a direct impact upon the opportunity to provide affordable housing within the community.

## Survey of Residential Zoning

Below is a description of the zoning districts in which residential dwellings are allowed in the City:

**Residential (R1-12):** To provide areas for low density, single-family residential neighborhoods of spacious and uncrowded character. Minimum lot size of 12,000 square feet.

**Residential (R1-10):** To provide areas for medium low density, single-family residential neighborhoods where low and medium costs of development may occur. Minimum lot size of 10,000 square feet.

**Residential (R1-7):** To provide areas for medium low density, single-family or dual-family residential neighborhoods where low and medium costs of development may occur. Minimum lot size of 7,000 square feet for a single-family home or 8,500 square feet for a duplex.

**Residential (RM-7):** To provide areas for medium residential density with the opportunity for varied housing styles and character. Minimum lot size of 7,000 square feet for a single-family home with an additional 6,000 square feet for each dwelling unit or 8,500 square feet for a duplex.

**Residential (RM-20):** To provide areas for medium high residential density with the opportunity for varied housing styles and character. Minimum lot size of 7,000 square feet for a single-family home with an addition 1,900 square feet for each dwelling unit or 8,500 square feet for a duplex.

**Planned (P):** To encourage and provide a means for effectuating desirable development through the use of variations in siting, mixing land uses and/or varied dwellings or other buildings. Minimum development size of 5 acres. Minimum lot size not applicable when previously zoned Highway Commercial (CH).

**Highway Commercial (CH):** To encourage a mixture of uses supporting all modes of transportation utilizing Highway 89, including, but not limited to, pedestrians, cyclists, public transit, and vehicular traffic. Residential uses are currently permitted in the CH zone when re-zoned to a P District, and must contain 5 or more dwelling units.

## Evaluation of Zoning Code's Effect upon Affordable Housing

The majority of North Salt Lake's Zoning Code allows for the development of affordable housing for low to moderate income households. The City should be proactive to permit development that provides a variety of housing types, including townhomes, condos, and apartments as demand for these types of housing arise. As the City continues to implement the General Plan and Town Center Master Plan, additional opportunities for varied housing types are being provided through infill development and flexible zoning tools, such as the form based code currently under review.

The zoning code was updated in 2018 to allow~~prohibits~~ accessory dwelling units (ADU) in all residential zones upon a single family lot. Allowing for ADU's in single family residences ~~could be used as~~was a strategy to increase the supply of affordable rental housing, by allowing those owning homes an option to use under-utilized portions of their property. Since the ordinance was passed in 2018, sixteen (16) Accessory Dwelling Units have been approved by the City.

## Fair Housing

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### Acknowledgement of the Utah Fair Housing Act

*By consent of the people of Utah, North Salt Lake lawfully exercises planning, zoning, and land use regulation authority to promote the health, safety, and welfare of its residents. North Salt Lake is committed to the equal protection and equitable treatment of all members of its community and anyone seeking to rent, lease, or purchase real property within its boundaries. North Salt Lake does not condone housing related practices that intentionally or indirectly discriminate on the basis of color, disability, ethnicity, familial status, gender identity, national origin, race, religion, sex, sexual orientation, source of income, or other suspect classifications. North Salt Lake upholds the Utah Fair Housing Act and complies with federal requirements that affirmatively further fair housing. North Salt Lake promptly reports housing discrimination to the Utah Antidiscrimination and Labor Division (UALD) and assists in its investigations of claims in a timely manner. North Salt Lake also systematically identifies and eliminates unfair encumbrances that impede its ability to promote and maintain an adequate supply of moderate-income targeted housing within its boundaries.*

Addressing issues associated with fair and affordable housing requires regular reviews of plans, policies, and ordinances as well as ongoing monitoring and assessment of potential disproportionate impacts and adverse effects within the community. Regular performance reviews of implemented housing plans, policies, and ordinances provide North Salt Lake with continuing feedback for making improvements.

### Evaluation of Fair Housing Legal Status

Utah's Fair Housing Act (Utah Code Annotated §57-21-1) prohibits discrimination on the basis of race, religion, color, sex, national origin, familial status, disability or source of income in the rental, purchase and sale of real property. According to The Utah Anti-discrimination and Labor Division, there were 5-8 fair housing related complaints in North Salt Lake between January 1, 2010 and ~~Jan 1, 2017~~October 31, 2020. One of the complaints was related to discrimination, ~~three-four~~ cases were related to national origin, 1 case was related to mental disability, 1 case was related to physical disability, and 1 case was related to sex/sexual orientation. This compares to 60-86 complaints in Davis County as a whole (~~49 resulting in a charge being filed~~) during the same time period. Because there have been only a few fair housing complaints in North Salt Lake in the last several years, the data suggests that discrimination is not an impediment to fair housing choice in North Salt Lake.

Currently, the only formal mechanism for identifying discrimination cases, based upon the parameters of the Fair Housing Act, is the incident of fair housing complaints. There are several annual trainings throughout the

county geared to train landlords on housing discrimination. The City should remain diligent in its efforts to ensure that housing is provided in accordance with the Utah Fair Housing Act.

## Goals and Strategies

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### Goal 1: Increase Opportunities for Low to Moderate Income Households to Purchase Affordable Housing

*Strategy 1* — Work with the Davis Community Housing Authority and support their affordable housing programs. Such programs may include the Family Self-Sufficiency Program and the Down Payment Assistance for First Time Home Buyers Program that would assist low-income households to purchase homes.

*Strategy 2* — Inventory sites for consideration of re-zoning, especially those within close proximity to public transit, which may be appropriate for more diverse owner-occupied housing options which are harmonious with the surrounding neighborhoods.

### Goal 2: Increase Affordable Rental Opportunities for Low to Moderate Income Households

*Strategy 1* — Work with the Davis Community Housing Authority to address affordable housing needs in North Salt Lake, including support for the Section 8 Housing Choice Voucher program.

*Strategy 2* — ~~Promote~~ Continue to promote the establishment of “accessory dwelling units,” such as basement apartments to increase the supply of affordable rental units and assist cost burdened homeowners.

*Strategy 3* - Promote the construction of housing units across all income categories to facilitate the natural attrition of existing housing stock to become available for low to moderate income households.

### Goal 3: Rehabilitate Existing Housing to Increase Rental Opportunities, Homeownership, Retention, and Reinvestment in North Salt Lake.

*Strategy 1*— Promote the use of the ~~Home Repair Grant~~ Emergency Repair Program (supported by CDBG funds and administered by the Davis Community Housing Authority) to extremely low and moderate income households. This program offers grants for maintaining and rehabilitating housing.

*Strategy 2*— Identify low to moderate income families that need weatherization assistance. Assist these households in contacting the respective utility companies to participate in their weatherization programs. The Weatherization program lowers monthly utility bills by making housing more energy efficient.

This Plan was prepared by the City of North Salt Lake staff.

**Contact:** Ali Avery, Long Range Planner

[alia@nslcity.org](mailto:alia@nslcity.org)

(801) 335-8729

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# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Sherrie Llewelyn, Community Development Director  
**DATE:** November 10, 2020  
**SUBJECT:** Plat Amendment to Eaglewood Village Subdivision at 290 South Orchard Drive

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### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the plat amendment for Eaglewood Village Subdivision, lot 1B at 290 South Orchard Drive with the following condition:

1. Dedication of access easement as a future public right of way;
2. Completion of Engineering Redlines

### BACKGROUND

The proposed amendment divides existing lot 1B (4.04 acres) into two lots, each 2.02 ac. in size. Lot 1B will be the site of a commercial office building and lot 1C will be retained by Brighton Development.

The DRC is requesting that the existing approximate 16-foot public utility and access easement be dedicated with this plat amendment. The dedication would allow future widening of Orchard Drive in this area if traffic conditions warranted such use. Other minor engineer redlines include correction of the use of Davis County Coordinates to the County Recorder required new standard of NAD83 datum set.

Under the current City Subdivision ordinance, plat amendments require a public hearing, although they are not required by state code.

### POSSIBLE MOTION

I move that the Planning Commission recommend approval to the City Council of the plat amendment for Eaglewood Village Subdivision at 244 South Orchard Drive with the following condition:

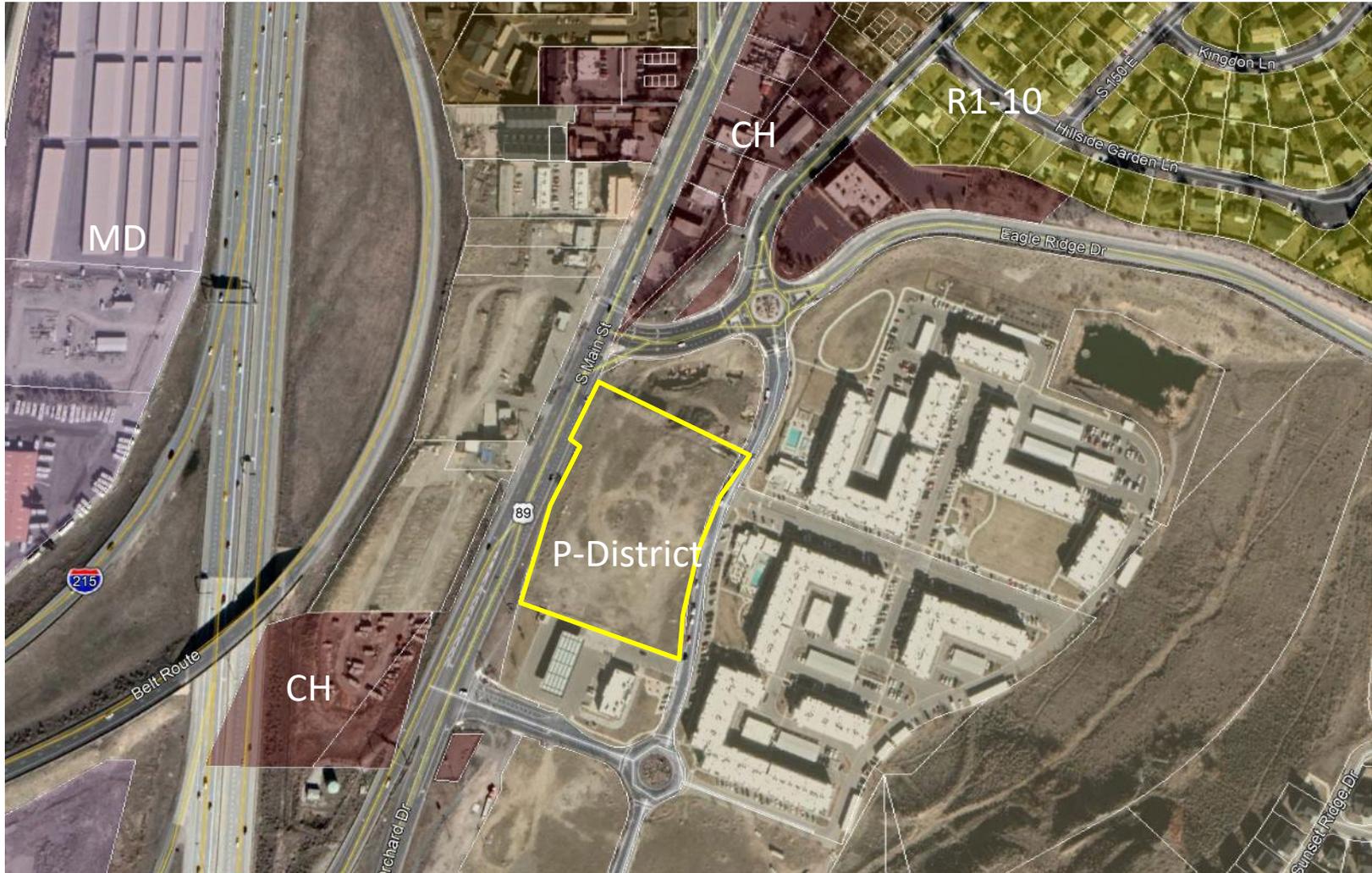
1. Dedication of access easement as a future public right of way;
2. Completion of Engineering Redlines

### Attachments

- 1) Aerial/Zoning Map
- 2) Amended Plat

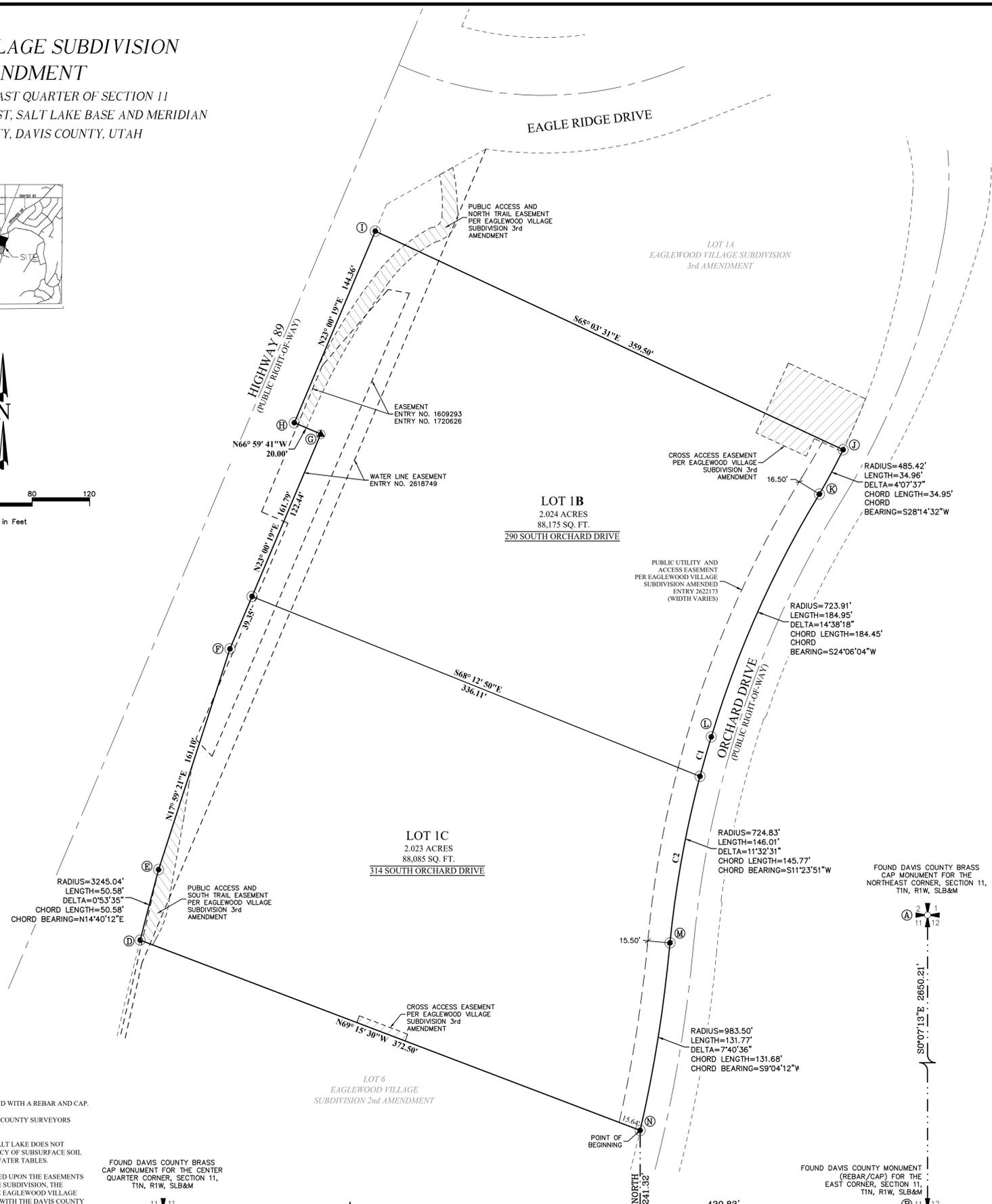
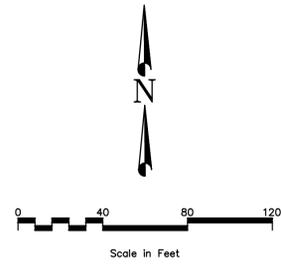
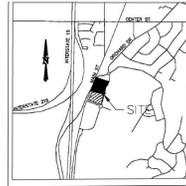


Proposed Plat Amendment  
290 South Orchard Drive  
Eaglewood Village Subdivision, Lot 1B Aerial



# EAGLEWOOD VILLAGE SUBDIVISION 4th AMENDMENT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11  
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH



### LEGEND

- PROPERTY CORNER SET REBAR/CAP  
"LEGEND ENGINEERING PLS5183760"
- ▲ FOUND PROPERTY CORNER  
REBAR/CAP "MCNEIL GROUP"
- BOUNDARY LINE
- - - ADJOINING PROPERTY LINE
- - - PUBLIC UTILITY EASEMENT
- - - EASEMENT LINE
- - - PUBLIC ACCESS AND TRAIL EASEMENT
- ▨ CROSS ACCESS EASEMENT

### Davis County Coordinates

POINT #	NORTHING	EASTING
A	102671.40	107925.33
B	100021.18	107930.89
C	100916.21	105295.91
D	100393.60	107142.71
E	100442.52	107155.52
F	100595.75	107205.27
G	100744.67	107268.59
H	100752.49	107250.09
I	100885.36	107306.51
J	100733.76	107632.48
K	100702.97	107615.94
L	100534.60	107540.62
M	100391.70	107511.82
N	100261.68	107491.07

### CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C1	724.83'	28.48'	2°15'04"	28.49'	S16°02'35"W
C2	724.83'	117.53'	9°17'28"	117.40'	S10°16'18"W

- #### SUBDIVISION NOTES
- PROPERTY CORNERS WILL BE MARKED ON THE GROUND WITH A REBAR AND CAP.
  - ALL COORDINATES SHOWN ARE BASED ON THE DAVIS COUNTY SURVEYORS OFFICE DATUM.
  - APPROVAL OF THIS DEVELOPMENT PLAT BY NORTH SALT LAKE DOES NOT CONSTITUTE ANY REPRESENTATION AS TO THE ADEQUACY OF SUBSURFACE SOIL CONDITION NOR THE LOCATION OR DEPTH OF GROUNDWATER TABLES.
  - EXISTING EASEMENTS SHOWN ON THIS PLAT ARE BASED UPON THE EASEMENTS NOTED ON THE OFFICIAL PLAT OF EAGLEWOOD VILLAGE SUBDIVISION, THE EAGLEWOOD VILLAGE SUBDIVISION AMENDED AND THE EAGLEWOOD VILLAGE SUBDIVISION 3rd AMENDMENT ON FILE AND OF RECORD WITH THE DAVIS COUNTY RECORDERS OFFICE.
  - BOTH LOTS 1B AND 1C ARE GRANTED CROSS ACCESS OVER, THROUGH AND ACROSS ANY DRIVEABLE AREA THROUGHOUT THE SUBDIVISION.

**ELEVATE ENGINEERING**  
492 WEST 1200 NORTH  
SPRINGVILLE, UT 84663  
PHONE: (801) 718-5993  
larvin@elevateng.com

<u>PLANNING COMMISSION</u>	<u>NORTH SALT LAKE CITY ENGINEER</u>	<u>CITY ATTORNEY</u>	<u>CITY COUNCIL APPROVAL</u>
RECOMMENDED FOR APPROVAL THIS _____ DAY OF _____ A.D., 2020 BY THE NORTH SALT LAKE CITY PLANNING COMMISSION.	RECOMMENDED FOR APPROVAL THIS _____ DAY OF _____ A.D., 2020.	RECOMMENDED FOR APPROVAL AS TO FORM THIS _____ DAY OF _____ A.D., 2020.	PRESENTED TO THE NORTH SALT LAKE CITY COUNCIL THIS _____ DAY OF _____ A.D., 2020, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
CHAIRMAN	CITY ENGINEER	CITY ATTORNEY	MAYOR, OR DESIGNEE CITY RECORDER

#### SURVEYOR'S CERTIFICATE:

I, CORY B. NEERINGS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 5183760 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS THE EAGLEWOOD VILLAGE SUBDIVISION 4th AMENDMENT AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.



CORY B. NEERINGS  
PLS 5183760

#### BOUNDARY DESCRIPTION

AL OF LOT 1B, EAGLEWOOD VILLAGE 3rd AMENDMENT SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE DAVIS COUNTY RECORDER, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF LOT 6 OF THE EAGLEWOOD VILLAGE SUBDIVISION 2nd AMENDMENT, SAID POINT BEING SOUTH 89°53'31" WEST 439.83 AND NORTH 241.32 FROM THE EAST QUARTER CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN;  
THENCE NORTH 69°15'30" WEST 372.50 FEET;  
THENCE 50.58 FEET ALONG THE ARC OF A 3245.04 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 0°53'35" (CHORD BEARS NORTH 14°40'12" EAST 50.58 FEET);  
THENCE NORTH 17°59'21" EAST 161.10 FEET;  
THENCE NORTH 23°00'19" EAST 161.79 FEET;  
THENCE NORTH 66°59'41" WEST 20.00 FEET;  
THENCE NORTH 23°00'19" EAST 144.36 FEET;  
THENCE SOUTH 65°03'31" EAST 359.50 FEET;  
THENCE 34.96 FEET ALONG THE ARC OF A 485.42 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 4°07'37" (CHORD BEARS SOUTH 28°14'32" WEST 34.95 FEET);  
THENCE 184.95 FEET ALONG THE ARC OF A 723.91 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 14°38'18" (CHORD BEARS SOUTH 24°06'04" WEST 184.45 FEET);  
THENCE 146.01 FEET ALONG THE ARC OF A 724.83 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 11°32'31" (CHORD BEARS SOUTH 11°23'51" WEST 145.77 FEET);  
THENCE 131.77 FEET ALONG THE ARC OF A 983.50 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 7°40'36" (CHORD BEARS SOUTH 9°04'12" WEST 131.68 FEET) TO THE POINT OF BEGINNING.

CONTAINS  
4.047 ACRES  
176,260 SQUARE FEET, MORE OR LESS

#### BASIS OF BEARINGS

BASIS OF BEARINGS ESTABLISHED AS SOUTH 89°53'31" WEST BETWEEN EAST QUARTER CORNER AND THE CENTER QUARTER CORNER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

#### OWNER'S DEDICATION

I, the owner of the described tract of land to be hereafter known as **EAGLEWOOD VILLAGE SUBDIVISION 4th AMENDMENT**, does hereby dedicate for the perpetual use of the public all streets, easements and other property as shown on this plat to be dedicated for public use and hereby consents and gives approval to the recording of this plat for all purposes shown therein.

In witness whereof, I have hereunto set my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Name of Entity \_\_\_\_\_ Name of Entity \_\_\_\_\_  
Print Name: \_\_\_\_\_ Print Name: \_\_\_\_\_  
By: \_\_\_\_\_ By: \_\_\_\_\_  
Title: \_\_\_\_\_ Title: \_\_\_\_\_

#### ACKNOWLEDGEMENT

STATE OF UTAH }  
COUNTY OF DAVIS }

On this \_\_\_\_\_ day of \_\_\_\_\_, in this year 2020, before me \_\_\_\_\_, a notary public, personally appeared \_\_\_\_\_, the \_\_\_\_\_ of \_\_\_\_\_, who proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed in the foregoing Owner's Dedication and Consent regarding the **EAGLEWOOD VILLAGE SUBDIVISION 4th AMENDMENT** and was signed by him/her on behalf of said \_\_\_\_\_ and acknowledged that he/she executed the same.

Commission Number \_\_\_\_\_ Signature \_\_\_\_\_  
My Commission Expires \_\_\_\_\_ Print Name \_\_\_\_\_  
A Notary Public Commissioned in Utah

#### ACKNOWLEDGEMENT

STATE OF UTAH }  
COUNTY OF DAVIS }

On this \_\_\_\_\_ day of \_\_\_\_\_, in this year 2020, before me \_\_\_\_\_, a notary public, personally appeared \_\_\_\_\_, the \_\_\_\_\_ of \_\_\_\_\_, who proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed in the foregoing Owner's Dedication and Consent regarding the **EAGLEWOOD VILLAGE SUBDIVISION 4th AMENDMENT** and was signed by him/her on behalf of said \_\_\_\_\_ and acknowledged that he/she executed the same.

Commission Number \_\_\_\_\_ Signature \_\_\_\_\_  
My Commission Expires \_\_\_\_\_ Print Name \_\_\_\_\_  
A Notary Public Commissioned in Utah

# EAGLEWOOD VILLAGE SUBDIVISION 4th AMENDMENT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11  
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

<u>DAVIS COUNTY RECORDER</u>	DATE: 9/29/20
STATE OF UTAH, COUNTY OF DAVIS, RECORDED AND FILE AT THE REQUEST OF _____	SCALE: 1"=40'
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____	PAGE: 1 OF 1
FEE _____ CHIEF DEPUTY DAVIS COUNTY RECORDER	PROJECT: S20-064



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Sherrie Llewelyn, Community Development Director  
**DATE:** November 10, 2020  
**SUBJECT:** Eaglewood Plaza Office Building, 290 South Orchard Drive

---

### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the site plan for Village Station (Eaglewood Plaza) Office Building at 290 South Orchard Drive with the following conditions:

1. Replace street trees (Hornbeam) along Orchard Drive with an approved street tree and separation; and
2. Completion of any outstanding engineering redlines.

### BACKGROUND

The proposed site plan is located on lot 1B of Eaglewood Village Subdivision at 290 South Orchard Drive. The site is 2.02 acres in size. The proposed use is a 3 story building with retail/commercial on the main story and office space on the 2 upper stories. The use is subject to the revised development agreement with Brighton Development and has been evaluated for compliance with the site plan application requirements found in 10-20-3 of the City Code. The site plan complies with requirements for parking, circulation, & traffic, as well as health, safety & noise. Landscaping and lighting also comply with the minimum requirements of city code. Please note the side plan shows a possible layout of lot 1C but this is for reference only and has not been submitted for approval at this time.

### REVIEW

The proposed office and retail building will be 37,500 sq. ft. The main floor of the building is divided by a drive thru access for a coffee shop. The remainder of the main floor may be programmed as office space or possibly additional retail. The second and third floors will be designated office space.

The building is setback from the Highway 89 approximately 60 feet. All parking is located to the side and rear of the building with access from Orchard Drive. The office parking is subject to a shared parking agreement with lot 1B for residential parking. The site plan meets the minimum parking requirements which are as follows:

	<b>Parking Requirement</b>	<b>Floor Space</b>	<b>Required</b>	<b>Provided</b>
<b>Office</b>	3/1,000 sq. ft.	34,860 sq. ft	104	126
<b>Retail</b>	1/1,000 sq. ft.	2,640 sq. ft.	2	2
<b>ADA Parking</b>	1/25 spaces as part of total spaces required		5	5
<b>TOTAL</b>			<b>106</b>	<b>128</b>

The site has 21,168 sq. ft. (24%) of landscaping, the minimum required landscaping under the development agreement is 25%. There is a stipulation that the PC can reduce the required landscaping to 20% with the improvement and maintenance of the right of way along Highway 89. The landscaping consists of lawn, trees and shrubs. Additional improvements to the site include a five-foot sidewalk and park strip along Orchard Drive. The only required change is the replacement of the Hornbeam trees in the park strip with an approved street tree. A lighting plan has not been submitted and will be required as part of the building permit package.

At this time no signage has been proposed. All signage must conform to the development agreement.

### **ARCHITECTURAL REVIEW**

The Development Agreement sets forth the architectural guidelines for the development. The building design standards aim to improve the quality of construction and architectural aesthetics in entry to the city and within the Town Center area.

The building design concept includes each level of the 3-story building being twisted relative to each other and each level having its own material expression. The design creates visual interest in the building. will be constructed of concrete tilt up panels. Three shades of gray will be used to give variety to the building façade and will be similar in finish to phase 1 which was constructed to the north.

The following table outlines the required design standards:

Element	Requirement	Provided
Transparency (Ground story)	65%	65%
Transparency (Upper stories)	25%	30%
Horizontal and Vertical Division	Required vertical/horizontal	Meets design guideline
Entrances	Covered or recessed	Meets design guideline
Roof	2' variation in spans longer than 60'	Does not meet guideline; however the articulating stories have the intended effect of the requirement, see attached letter from architect.
Materials	High quality primary materials	Meets design guideline: Stucco, Oko Skin, MBCI Panels, Brick,
Colors	As approved by Planning Commission	The proposed colors are shades of grey, white, black and tan. Examples will be provided at the meeting.

The applicant has submitted corrected drawings in response to staff redlines. The planning redlines have been satisfied except as noted in the recommended conditions. The city engineer will need to verify that his redlines have been satisfied. The building is greater than 30,000 sq. ft. in size and therefore the final site plan approval is reserved for the City Council with recommendation from the Planning Commission.

**POSSIBLE MOTION**

I move that the Planning Commission recommend to the City Council the approval of the site plan for Village Station Office Building at 290 South Orchard Drive with the following conditions:

1. Replace street trees (Hornbeam) along Orchard Drive with an approved street tree and separation; and
2. Completion of any outstanding engineering redlines.

Attachments

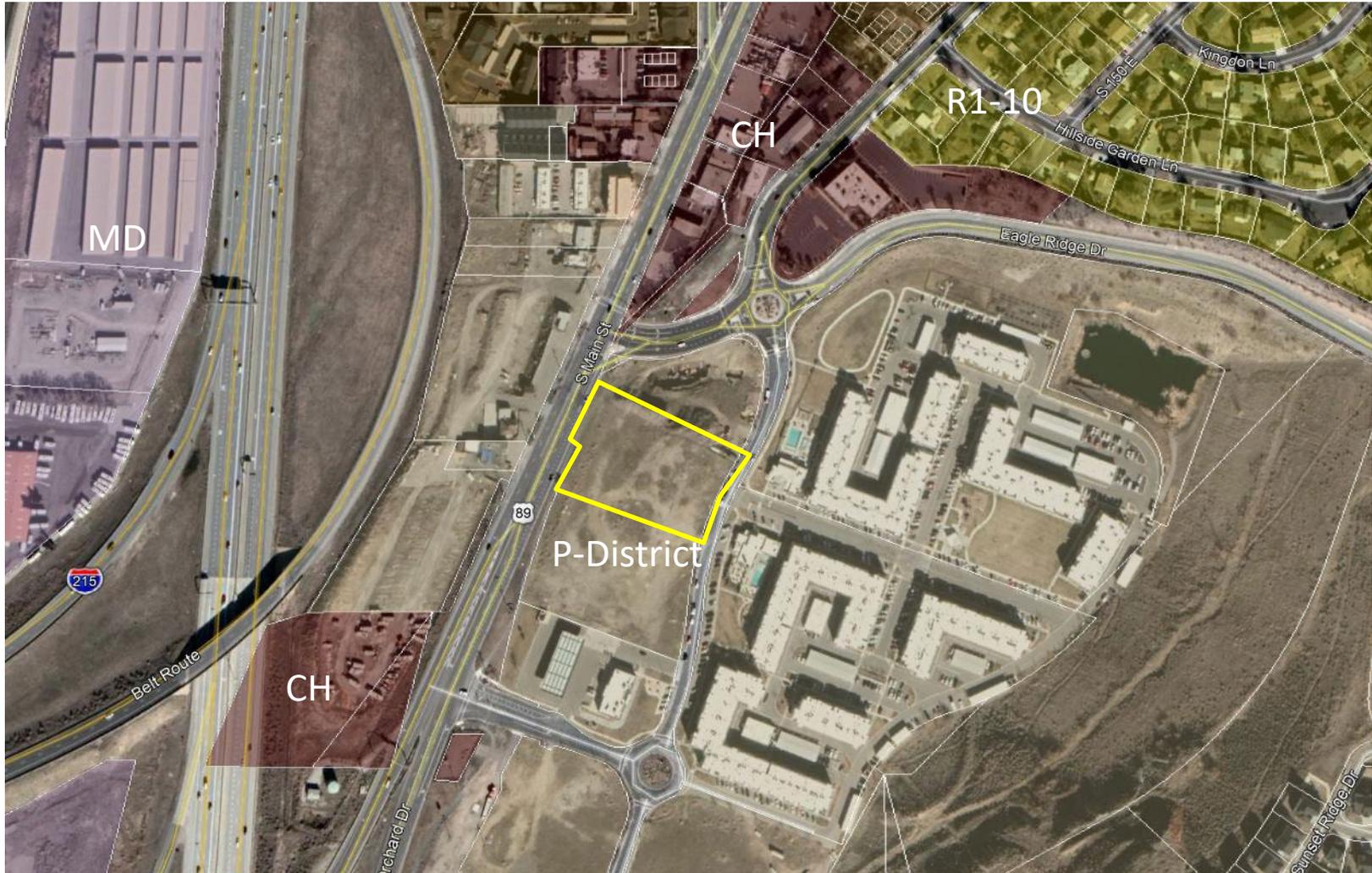
- 1) Aerial/Zoning Map
- 2) Letter from Architect regarding roof line standard
- 3) Site Plan
- 4) Landscape Plan
- 5) Elevations



# Site Plan

## 290 South Orchard Drive

### Eaglewood Plaza





RAW Design Studio, LLC  
654 West 100 South  
Salt Lake City, UT 84104

November 4, 2020

Chairperson Ted Knowlton and Members of the Planning Commission  
City of North Salt Lake, Utah  
10 E. Center St.  
North Salt Lake, UT 84054

Dear Commissioners,

The purpose of this letter is to request an exception to the following provision in the Eaglewood Village Development Agreement:

*Section 2.B.3.ii*

*Variation in Roof Line. Any facade visible from a public right-of-way, including pedestrian, transit, and bicycle corridors, shall include a parapet or other roof variation such as clerestories, dormers, gables, cupolas, or other architectural roof projections that vary in height by at least two feet (2') for each sixty (60) linear feet of facade length.*

This requirement is well intentioned and ensures that large buildings are designed with enough relief and architectural interest so as not to result in flat building faces. For most building, where walls are stacked from foundation to roof, architectural interest is easiest accomplished through variations in the roof line. However, there are many ways to design a building such that does not to appear flat. We believe our design accomplishes the intent of the code in a unique and dynamic manner and would like the Commission to consider granting an exception to this requirement.

Our building's design concept includes each level of the 3-story building being twisted relative to each other and each having its own material expression. This twisting articulation creates a great deal of visual interest for the building. The levels will cast dynamic shadows on each other which will change throughout the day. The design also allows for the introduction of balconies on upper levels and naturally occurring overhangs at entrances.

Granting this exception will allow us to create something truly unique at this important location within North Salt Lake. Though we could introduce roof variations into the proposed design, we feel that doing so will compete with the main idea of the building and that the result will be overly busy and un-unified. Our design accomplishes the intent of the code in a way that is unlike other buildings anywhere in the state. Thank you for considering this request and for your service to the city.

Sincerely,

A handwritten signature in black ink, appearing to read "Darin Mano", is positioned below the "Sincerely," text.

Darin Mano, AIA  
RAW Design Studio, LLC  
darin@rawdesign.com

NOTE: CONTRACTOR MUST MEET ALL NORTH SALT LAKE CITY SPECIFICATIONS AND STANDARDS WITH THE CITY RIGHT-OF-WAY.

PROJECT ENGINEER:  
LARVIN POLLOCK  
ELEVATE ENGINEERING  
492 WEST 1200 NORTH  
SPRINGVILLE, UT 84663  
(801) 718-5993  
LARVIN@ELEVATEENG.COM

# LEGEND

LOT LINES (PROPERTY)	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
STRIPING	
BUILDING SETBACK	
LANDSCAPE SETBACK	
EXISTING BUILDING	
EXISTING FENCE	
TOP BACK OF CURB	TBC
FINISHED FLOOR ELEVATION	FFE
COVERED PARKING	

### SITE DATA

LOT 1 AREA:	88,176	SF (2.02 ACRES)
BUILDING AREA:	11,600	SF± 13.2%
PAVEMENT AREA:	55,408	SF± 62.8%
LANDSCAPE AREA:	21,168	SF± 24.0%

ZONING: P (PLANNED DISTRICT)  
PARCEL ID#: 015010002

SETBACKS:  
FRONT=25 FEET  
REAR=5 FEET  
SIDE=5

### PARKING TABULATION

PROVIDED: 128 STALLS  
5 ADA STALLS

### NOTES:

- ① PROPOSED 6" SIDEWALK PER APWA PLAN 231. SEE SHEET C-4 FOR DETAILS.
- ② ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER ADA AND APWA STANDARDS. SEE SHEET C-4 FOR DETAILS.
- ③ PROPOSED CURB & GUTTER TYPE PER E APWA PLAN 205. SEE SHEET C-4 FOR DETAILS.
- ④ PROPOSED CURB TYPE P PER APWA PLAN 209. SEE SHEET C-4 FOR DETAILS.
- ⑤ PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
- ⑥ PROPOSED DUMPSTER LOCATION. SEE SHEET C-4 FOR DETAILS.

### GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF-SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.




SCALE: 1" = 20'

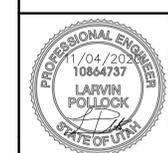


NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING  
492 WEST 1200 NORTH  
SPRINGVILLE, UT 84663  
PHONE: (801) 718-5993  
larvin@elevateeng.com

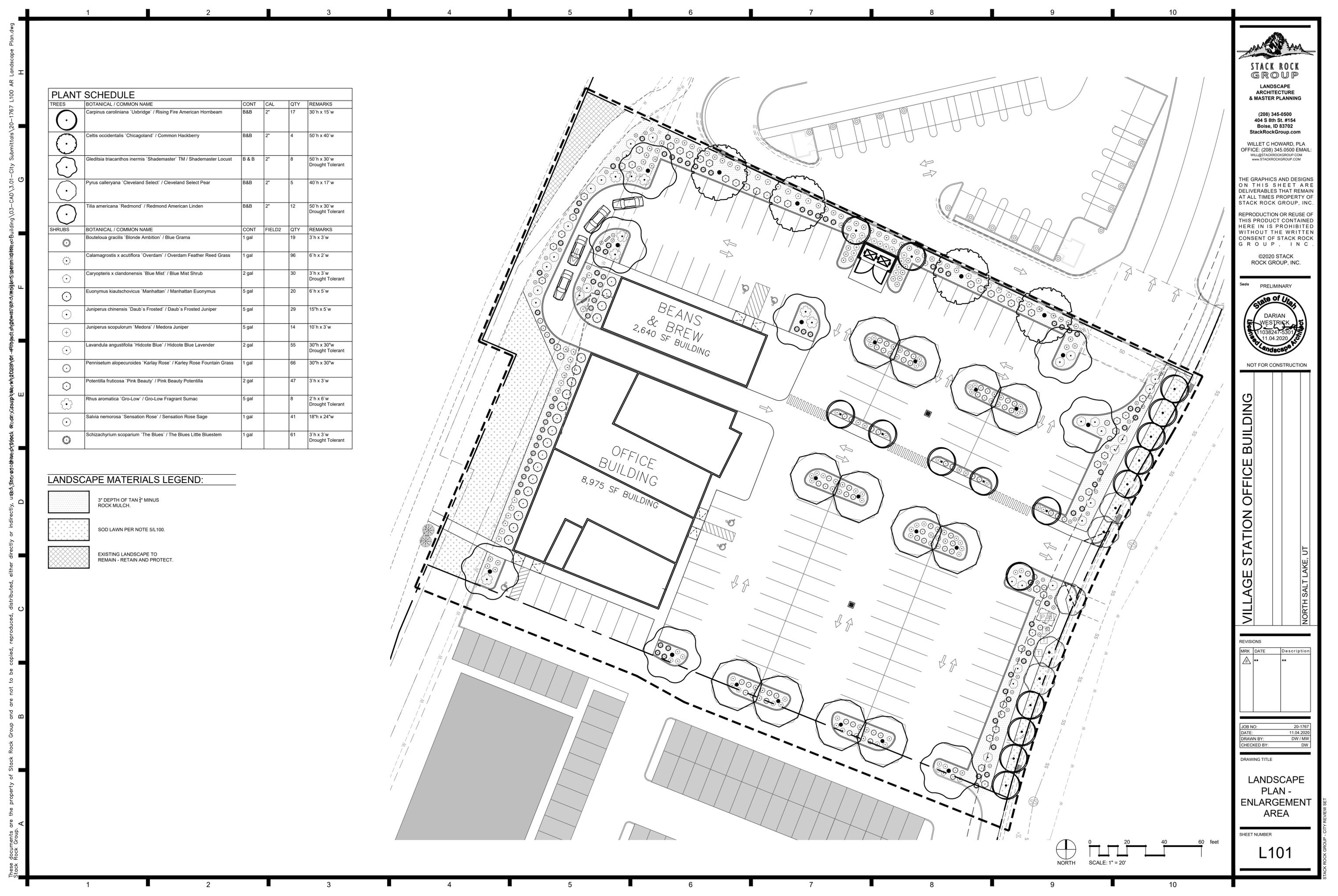


VILLAGE STATION OFFICE BUILDINGS  
SITE PLAN  
NORTH SALT LAKE, UT



SHEET:  
**C-1**

DATE:  
Nov 04, 2020



**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY	REMARKS
	Carpinus caroliniana 'Uxbridge' / Rising Fire American Hornbeam	B&B	2"	17	30'h x 15'w
	Celtis occidentalis 'Chicagoland' / Common Hackberry	B&B	2"	4	50'h x 40'w
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"	8	50'h x 30'w Drought Tolerant
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"	5	40'h x 17'w
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"	12	50'h x 30'w Drought Tolerant
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	QTY	REMARKS
	Bouteloua gracilis 'Blonde Ambition' / Blue Grama	1 gal		19	3'h x 3'w
	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	1 gal		96	6'h x 2'w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal		30	3'h x 3'w Drought Tolerant
	Euonymus kiautschovicus 'Manhattan' / Manhattan Euonymus	5 gal		20	6'h x 5'w
	Juniperus chinensis 'Daub's Frosted' / Daub's Frosted Juniper	5 gal		29	15'h x 5'w
	Juniperus scopulorum 'Medora' / Medora Juniper	5 gal		14	10'h x 3'w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal		55	30'h x 30"w Drought Tolerant
	Pennisetum alopecuroides 'Karley Rose' / Karley Rose Fountain Grass	1 gal		66	30'h x 30"w
	Potentilla fruticosa 'Pink Beauty' / Pink Beauty Potentilla	2 gal		47	3'h x 3'w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal		8	2'h x 6'w Drought Tolerant
	Salvia nemorosa 'Sensation Rose' / Sensation Rose Sage	1 gal		41	18'h x 24"w
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem	1 gal		61	3'h x 3'w Drought Tolerant

**LANDSCAPE MATERIALS LEGEND:**

- 3" DEPTH OF TAN 2" MINUS ROCK MULCH.
- SOD LAWN PER NOTE 5/L100.
- EXISTING LANDSCAPE TO REMAIN - RETAIN AND PROTECT.



**STACK ROCK GROUP**  
 LANDSCAPE ARCHITECTURE & MASTER PLANNING  
 (208) 345-0500  
 404 S 8th St. #154  
 Boise, ID 83702  
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NOT FOR CONSTRUCTION

VILLAGE STATION OFFICE BUILDING  
 NORTH SALT LAKE, UT

REVISIONS

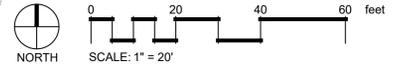
MRK	DATE	Description
▲	**	**

JOB NO: 20-1767  
 DATE: 11.04.2020  
 DRAWN BY: DW / MW  
 CHECKED BY: DW

DRAWING TITLE

LANDSCAPE PLAN - ENLARGEMENT AREA

SHEET NUMBER  
**L101**



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STACK ROCK GROUP - CITY REVIEW SET

NORTH SALT LAKE OFFICE PROJECT

301 S Orchard Dr, North Salt Lake, UT 84054

CITY OF NORTH SALT LAKE - SITE PLAN APPLICATION

Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"X36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	20175
Owner	LEADING TECH
Date	10/9/2020
Drawn	Author
Checked	Checker

EXTERIOR ELEVATIONS

A001



C1 EAST ELEVATION  
1/8" = 1'-0"

A1 SOUTH ELEVATION  
1/8" = 1'-0"

- T.O PARAPET 150' - 6"
- ROOF DECK 148' - 0"
- LEVEL 3 133' - 0"
- LEVEL 2 118' - 0"
- LEVEL 1 CEILING 113' - 0"
- LEVEL 1 100' - 0"

EXTERIOR MATERIAL PERCENTAGES  
GLASS - 28%  
MATERIAL 1 - 24%  
MATERIAL 2 - 11%  
MATERIAL 3 - 22%  
MATERIAL 4 - 15%

GROUND FLOOR GLAZING PERCENTAGES  
TOTAL L1 FACADE AREA: 1,846 SF  
REQUIRED: 1,846 X 65% = 1,200 SF  
PROVIDED: 1,220 SF

EXTERIOR MATERIAL PERCENTAGES  
GLASS - 30%  
MATERIAL 1 - 23%  
MATERIAL 2 - 4%  
MATERIAL 3 - 25%  
MATERIAL 4 - 18%

2020-11-04 오후 2:44:54

NORTH SALT LAKE OFFICE PROJECT

301 S Orchard Dr, North Salt Lake, UT 84054

CITY OF NORTH SALT LAKE - SITE PLAN APPLICATION

Rev#	Date	Description

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Job #	20175
Owner	LEADING TECH
Date	10/9/2020
Drawn	JH
Checked	AF

EXTERIOR ELEVATIONS

A002



C1 WEST ELEVATION  
1/8" = 1'-0"

A1 NORTH ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIAL PERCENTAGES  
GLASS - 30%  
MATERIAL 1 - 30%  
MATERIAL 2 - 4%  
MATERIAL 3 - 15%  
MATERIAL 4 - 21%

GROUND FLOOR GLAZING PERCENTAGES  
TOTAL L1 FACADE AREA: 1,846 SF  
REQUIRED: 1,846 X 65% = 1,200 SF  
PROVIDED: 1,221 SF

EXTERIOR MATERIAL PERCENTAGES  
GLASS - 33%  
MATERIAL 1 - 27%  
MATERIAL 2 - 4%  
MATERIAL 3 - 16%  
MATERIAL 4 - 20%

2020-11-04 오후 2:45:01



NORTH SALT LAKE OFFICE PROJECT

301 S Orchard Dr, North Salt Lake, UT 84054

CITY OF NORTH SALT LAKE - SITE PLAN APPLICATION

Rev#	Date	Description

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Job #	20175
Owner	LEADING TECH
Date	10/9/2020
Drawn	JH
Checked	DM

REDERNING

A004



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission

**FROM:** Sherrie Llewelyn, Community Development Director

**DATE:** November 10, 2020

**SUBJECT:** Preliminary Plan-Eaglewood Cove P.U.D. Subdivision, phases 13-15

---

### RECOMMENDATION

The Development Review Committee has reviewed the Preliminary Plan and finds that it meets the minimum standards for preliminary plan approval with the following conditions:

1. Phases 14 and 15 may not proceed to Final Plat approval until final determination on the mitigation solution for the soil strength issue of lots 1407-1411 and 1505, if a mitigation solution cannot be approved those lots shall be removed from the plat(s);
2. Sidewalks shall be required on at minimum one side of the private roads;
3. Any remaining engineering redline corrections be completed prior to final plat submittal.

### BACKGROUND

The previously approved concept plan for Eaglewood Cove Phases 13-15 consisted of 75 lots east of the existing phases of Eaglewood Cove development. The concept plan was approved by the City Council on July 19, 2016. Since that approval the developer has been conducting an extensive Geological Hazards Investigation of the property leading to numerous changes in layout design and a reduction from 75 lots to 72 lots. The proposed development is divided into three phases, 13, 14, and 15. The subdivision will also be a planned unit development (PUD) subdivision to provide for common ownership of the private street, the HOA maintained storm water detention facilities, and for architectural review prior to building permits.

The developer of this project has been working with the City geologic consultants to address the requirements of the 2016 geologic hazards ordinance. Under the ordinance, geotechnical reports are to be submitted prior Preliminary Plan. The full geologic hazard study has been completed and reviewed and conditionally approved by the city geotech consultant. There are 6 lots in phases 14 & 15 that the mitigation solution for soils issues must still be approved by our consultant prior to final plat. If a mitigation cannot be agreed upon the lots will be removed from the subdivision.

A conditional use permit was approved by the Planning Commission for the proposed flag lots in the development on July 12, 2016. The exception to cul-de-sac length was approved as part of the concept plan approval. Previously the fire district had required that the homes on the loop road be fire sprinkled or the road widened, since that time the number of lots on the loop road has been reduced to less than 30 and the requested restriction is no longer necessary.

## **REVIEW**

Subdivisions under city code and state statute are administrative actions. State code and case law require that if the proposed subdivision meets the minimum standards required by code, the application must be approved. Subdivisions in general and PUD's more specifically are conditional uses in the city code. State code and case law state that conditional uses are permitted uses with conditions. Therefore if the development meets the minimum standards and reasonable conditions can be used to mitigate impacts of the development on the community, it also must be approved. The steps for approving a PUD development are recommendation to the City Council in 3 steps, Concept Plan, Preliminary Plan, and Final Plat.

The development is divided into 3 plats, plat 13 is 52.7 acres and contains 39 lots with lot sizes varying from 0.60 acres to 6.34 acres. Plat 14 is 14.36 acres and contains 13 lots with lot sizes varying from 0.67 to 2.03 acres. Plat 15 is 26.62 acres and contains 20 lots with lot sizes varying from 0.56 and 2.82 acres.

The preliminary plats have been reviewed by the DRC and have been recommended for preliminary plan approval. The following issues are of particular interest or require Planning Commission recommendation and City Council approval as appropriate:

1. **Sidewalks.** The DRC is recommending that sidewalks be added to one side of the private streets. The developer is requesting that no sidewalks be required in the PUD due to the large nature of the lots and the responsibility and expense of maintaining the sidewalks, as well as the desire to further limit the cuts and fills on the site.
2. **Building Envelopes.** The building envelopes have been established to limit improvements to the portions of the lots with a slope less than 30%. The developer has requested the ability to allow accessory structures and uses outside the building envelop with certain restrictions. Please review plat notes 14 & 15 which would allow a lot owner to submit a detailed topographical survey demonstrating slopes less than 30% outside the envelop for an accessory structure and also provides for various private recreational uses of those areas.
3. **Fire Sprinkling.** Due to the size of the tank and the required fire flow for structures over 10,000 sq. ft. the developer has agreed to limit home sizes to 10,000 sq. ft. unless an automatic fire suppression system is installed in the home.
4. **Setbacks.** The required front setback has been reduced from 25 feet to 20 feet as all of the lots have an average slope of 15% or greater and thus qualify for the reduction. The reduction does not apply to those lots with building envelopes that are setback from the front property line greater than 20 feet.
5. **Restricted Access.** Numerous lots have double frontage or areas of frontage that would be too steep to access from the street. Therefore, restriction on access in those areas is being limited to those allowed in plat note 19 for temporary access for construction or maintenance and not for vehicular access.
6. **Geotechnical Review.** All lots in the development are subject to site specific review prior to building permit. Sections 7 & 8 along with Table H of the geotechnical report have specific

requirements that must be met prior to a building permit being issued. Each lot owner will be required to have their home structural design and soils evaluated for compliance with the report and certifying that they have been designed to the specific specifications for that lot.

7. **Overall Geotech.** Two areas of the development contain soils that must be removed or mitigated. The developer is proposing and the city engineer and geotech consultant agree that the best course of action is to mass grade these areas to remove the fat clays, rather than have them removed by each individual lot owner.

### **POSSIBLE MOTION(S)**

I move that the Planning Commission recommend approval of the proposed preliminary plan for Eaglewood Cove Subdivision, phase 13-15 located at approximately 600 South Tanglewood Loop, subject to the following findings and conditions:

#### Findings:

1. The proposed preliminary plan meets the minimum standards of the land use code for preliminary plan approval;
2. The proposed layout minimizes the necessary cuts and fills and provides an efficient design;
3. The exception to maximum length of a cul-de-sac is warranted based upon the following:
  - i. Physical conditions exist which preclude the ability to establish any other means of access, namely topography.
  - ii. Construction of a through street will result in undesired cuts and fills, affecting natural drainage patterns and existing vegetation
  - iii. The exception has received favorable recommendation from the Fire District and Development Review Committee

#### Conditions:

1. Phases 14 and 15 may not proceed to Final Plat approval until final determination on the mitigation solution for lots 1407-1411 and 1505, if a mitigation solution cannot be approved those lots shall be removed from the plat(s);
2. Sidewalks shall be required on at minimum one side of the private roads;
3. Any remaining engineering redline corrections be completed prior to final plat submittal.

#### Attachments:

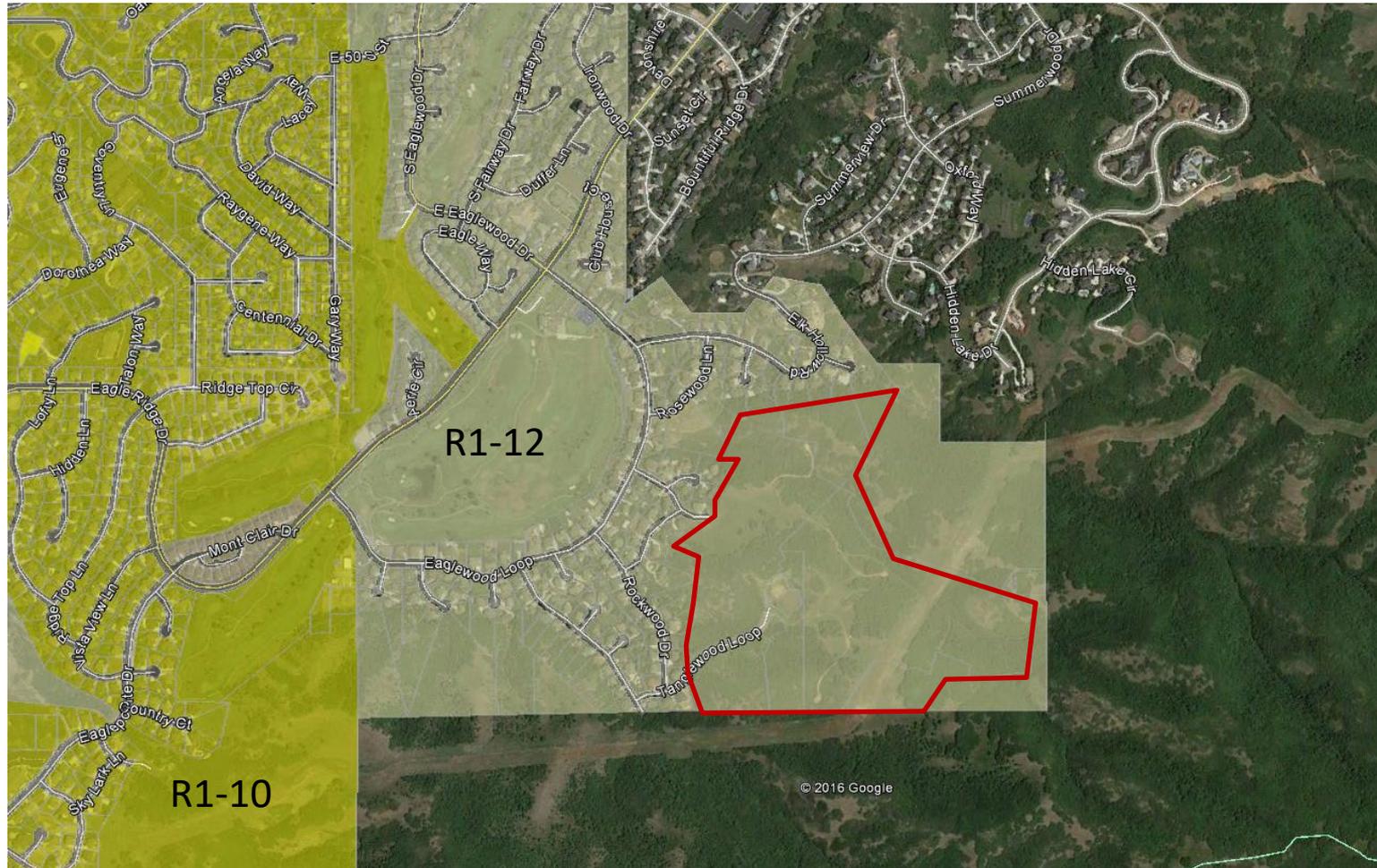
1. Aerial/Zoning Maps
2. Plat Notes
3. Geotechnical Report-Section 7-8 and Table H (updated pages will be provided separately)
4. Phasing Plan
5. Overall Preliminary Plan
6. Slope Analysis/Building Envelopes
7. Preliminary Plan 13-15



# Preliminary Plan

## Eaglewood Cove Ph. 13-15– 600 South Tanglewood Loop

### Aerial



## NOTES

- 1.) All un-fenced property corners will be set with a 5/8" rebar and plastic cap stamped "Bingham Eng." or a rivet where the property corner is in concrete or asphalt.
- 2.) Private roadways (40' wide right-of-way) shall be covered by a blanket easement for private and public utilities. Said easement shall be created by this reference.
- 3.) Private roadways shall have an access easement across it to allow access to adjoining private parcels. Said easement shall be created by this reference.
- 4.) Private roadways shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- 5.) All front and rear public utility easements shown hereon are 10.00 feet wide unless otherwise noted. All side public utility easements are 7 feet unless otherwise noted.
- 6.) The plat coordinates shown hereon are based on the NAD83 datum. Record bearings, distances and coordinate values are shown in brackets [ ]. All other dimensions and coordinate values are measured. Bearings and distances shown in ( ) are easement dimensions.
- 7.) Approval of this development plat by North Salt Lake City does not constitute any representation as to the adequacy of subsurface soil condition or the location or depth of groundwater tables.
- 8.) Street lights on private streets within the P.U.D. shall be operated and maintained by the Eaglewood Cove Homeowners Association.
- 9.) Detention basins, along with storm drain mains, inlet boxes, and storm drain manholes located within private roadways and lots shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- 10.) Development on corner lots within this plat shall conform to the City's adopted clear vision requirements found in Section 10-1-31, City Code.
- 11.) All lots are deemed restricted lots and governed according to Title 10, Chapter 12 of the North Salt Lake City Code.
- 12.) Fire Sprinkling
  - a.) Due to the required fire flow capacity and the fixed culinary tank size for the development (300,000 gallons), structures greater than 10,000 sq. ft. shall be required to be fire sprinkled.
- 13.) Ownership of Parcels B and C is hereby dedicated to the Eaglewood Cove Homeowners Association.
- 14.) BUILDING ENVELOPES: All homes and structures shall be contained within the building envelopes as specified on the plat. Approval of accessory structures outside the building envelope shall only be permitted on slopes less than 30% within the required setbacks for the zone. Lot grading outside of the designated building envelopes shall not be allowed to modify the natural grade for the purposes of meeting this requirement. Adjustments to the building envelope up to 10% may be approved by the Community Development Director with the advice of the City Engineer and a finding that requested modification is warranted by environmental features, site conditions, location of existing improvements, architecture or sustainability consideration, or retention of native vegetation and slope. For purposes of this restriction "accessory structures" shall not include mechanical equipment or systems necessary for the operation of permitted private recreational uses, such as ski or sledding tow rope motors and pulleys, which may be constructed in areas greater than 30% slope.
- 15.) CRITICAL SLOPE EASEMENT DESCRIPTION
  - a.) AREA OF APPLICATION The Critical Slope Easement restrictions set forth hereinbelow shall apply to those portions of each lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%). Said portions of the lot that are situated outside of the building envelope of each lot and the slope of which in excess of thirty percent (30%) slope shall be collectively referred to as the "Critical Slope Easement Areas". The topographical map that is required to be submitted for review by North Salt Lake City pursuant to the issuance of the building permit for each Lot shall clearly identify those areas of the respective lot that are situated outside of the building envelope that have slopes in excess of thirty percent (30%).
  - b.) UTILITY EASEMENTS IN CRITICAL SLOPE EASEMENT AREAS There is reserved unto North Salt Lake City and any public utility company or private utility, easements within the Critical Slope Easement Areas for the installation, construction, maintenance, repair, and replacement of any utility services and utility lines which serve the Subdivision.

c.) RESTRICTIONS ON USE OF CRITICAL SLOPE EASEMENT AREAS Except as set forth herein, the Critical Slope Easement Areas shall be used and occupied by the respective owners of the lots and their respective guests and invitees in accordance with the restrictions set forth hereinbelow. Such use will be restricted to foot traffic only. No paving, outbuilding, shed or temporary building of any kind shall be erected, constructed, permitted or maintained on, under, or within the Critical Slope Easement Areas. Furthermore, except as provided herein, the owner of the Lot upon which any of the Critical Slope Easement Areas are located shall not excavate, grade, fill, litter, dump or disturb the vegetation (except as is reasonably necessary when planting additional plants, shrubs, or trees) nor store materials upon, over, or across the Critical Slope Easement Areas. Soils excavated as part of the footing and foundation may be temporarily stored within the building envelope for the purposes of backfilling the foundation and the remaining soil should be removed from the site or incorporated in landscaping but and not deposited on critical slope easements. The owners of the Lots may plant additional plants, shrubs, and trees upon the Critical Slope Easement Areas including limited excavation and irrigation that is reasonably necessary to plant any such plants, shrubs, and trees. Excavation will be limited to hand digging and the use of a small trencher for irrigation purposes.

d.) PRIVATE RECREATIONAL USES. The owners of the Lots may request a land use permit from the Community Development Department for construction of accessory structures or land uses outside of the building envelope for the purposes of private recreational (non-commercial) use under the following restrictions:

i.) Submittal of a survey, prepared by a licensed surveyor, demonstrating the slope of the area where an accessory structure is to be placed has a slope less than 30%.

ii.) The property owner has demonstrated that the construction for the land use can be completed in a manner which protects and preserves the native vegetation; or minimizes disturbing vegetation and an appropriate restoration bond is submitted equal to the estimated restoration costs.

iii.) Construction of structures shall be limited to a maximum one structure 200 sq. ft. or less, and a maximum height of 14' to the top of roof. Accessory dwelling units and garages shall not be permitted outside the building envelope, unless they are directly adjacent to the building envelope.

iv.) Land use permits shall be accompanied by a letter from the HOA acknowledging their approval and conditions for the structure and land use requested.

vi.) Structures shall be designed and use similar materials of the main structure on the property or shall be designed to blend into the natural environment.

vii.) Examples of appropriate land uses outside the building envelope are: private recreational picnic areas, small pavilions, gazebos, trails, gardens and garden sheds, sports courts (200 sq. ft. or less), etc. Land uses such as private ski or sledding runs which require the use of motorized tow ropes, may only be permitted with mechanical systems that are contained entirely within an accessory structure or cabinet, and are constructed to reduce or dampen noise from the tow motor. Operation of a tow rope shall only be permitted during daytime hours. No lighting of the runs is permitted.

e.) DEVELOPER The foregoing notwithstanding, said restrictions upon excavation, grading, and filling shall not apply to grading and filling performed by the developer of the Lots in accordance with an approved development grading plan.

f.) MAINTENANCE The respective owners of the Lots upon which any portion of the Critical Slope Easement Areas may be located shall be responsible for maintaining that portion of the Critical Slope Easement Areas which is located on their respective lots.

g.) EASEMENTS DEEMED CREATED Any and all conveyances of any lot on which any portion of the Critical Slope Easement Areas outside of the applicable Building Envelope for each lot shall be construed to grant and reserve such Critical Slope Easement Areas as provided herein even though no specific reference to such easements appears in any such conveyance.

16.) Native vegetation shall not be disturbed on slopes greater than 30%.

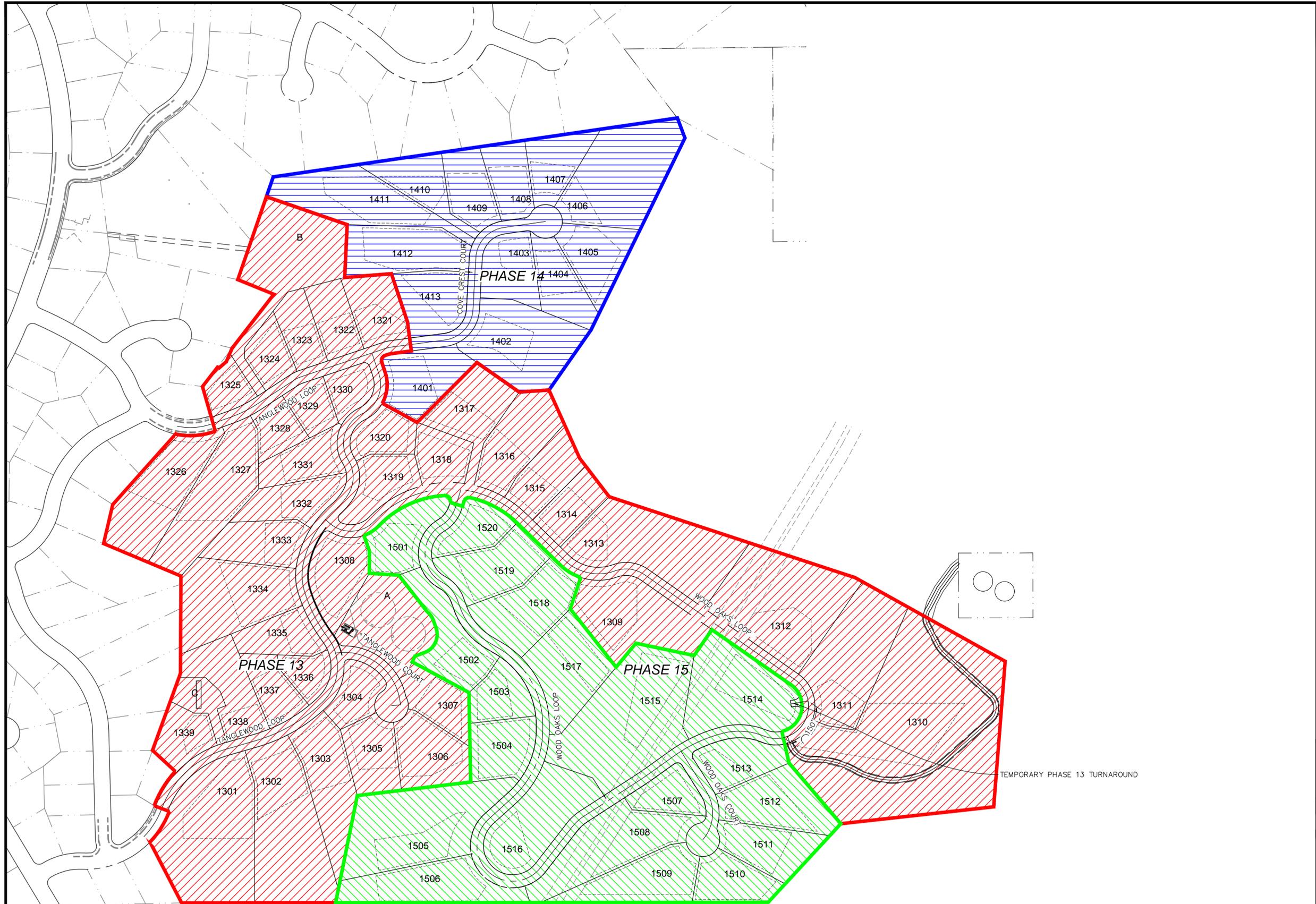
17.) DRIVEWAY SLOPES: All driveways shall not exceed 10% grade.

18.) CROSS EASEMENT ACCESSES: The following lots contain cross easement accesses including shared driveways which easement is defined and governed in the CC&R's: Lots 1410 & 1411. Said easement shall provide for: (a) the design and construction of the driveway access easement area by the respective parties thereto, (b) the ongoing maintenance and repair of the driveway access easement area by the respective parties thereto; (c) snow removal from the driveway access easement area; and (d) how the costs of both maintenance & repair and snow removal of the driveway access easement area shall be allocated between the respective owners. Said easement shall be managed and enforced by the Eaglewood Cove Home Owners Association.

19.) RESTRICTED ACCESS AREAS: For Lots marked with restricted access shall have limited entry from those areas for property maintenance, temporary construction access, or other permitted uses only. No permanent vehicular access from those areas shall be permitted without review and approval of the city development review committee and a finding that the requested access will result in a safer access than could otherwise be approved outside the restricted access area, will result in few cuts and fills, and has been reviewed and approved by the city's geotechnical consultant.

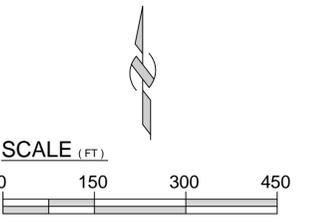
20.) GEOTECH: IN ACCORDANCE WITH CITY CODE SECTION 10-12-4 ALL LOTS ARE REQUIRED TO SUBMIT WITH BUILDING PERMIT APPLICATION: "A SITE SPECIFIC GEOTECHNICAL REPORT IN ACCORDANCE WITH CHAPTER 18 OF THE INTERNATIONAL BUILDING (IBC) AND ANY ENGINEERED CONSTRUCTION PLAN WHICH HAS BEEN DESIGNED IN COMPLIANCE WITH THE RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL REPORT FOR SITE EXCAVATION, GRADING, SLOPE STABILITY, STRUCTURAL COMPONENTS, LANDSCAPING, OR ANY OTHER GEOLOGIC HAZARD MITIGATION SPECIFIED."

THE REPORT MUST CERTIFY THAT THE DESIGN OF THE CONSTRUCTION HAS BEEN DONE IN ACCORD WITH THE RECOMMENDATIONS FOR THAT SPECIFIC LOT AS CONTAINED WITHIN THE "GEOTECHNICAL & GEOLOGIC HAZARD INVESTIGATION REPORT: EAGLEWOOD COVE RESIDENTIAL DEVELOPMENT, PHASES 13-15", PREPARED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES INC. (IGES) DATED JUNE 30, 2020 AND UPDATED \_\_\_\_\_. THE REPORT MUST ADDRESS SECTION 7.0 GEOLOGIC CONCLUSIONS AND RECOMMENDATIONS, SECTION 8.0 ENGINEERING CONCLUSIONS AND RECOMMENDATIONS, AND TABLE H SPECIAL RECOMMENDATIONS BY LOT.



**NOTES:**

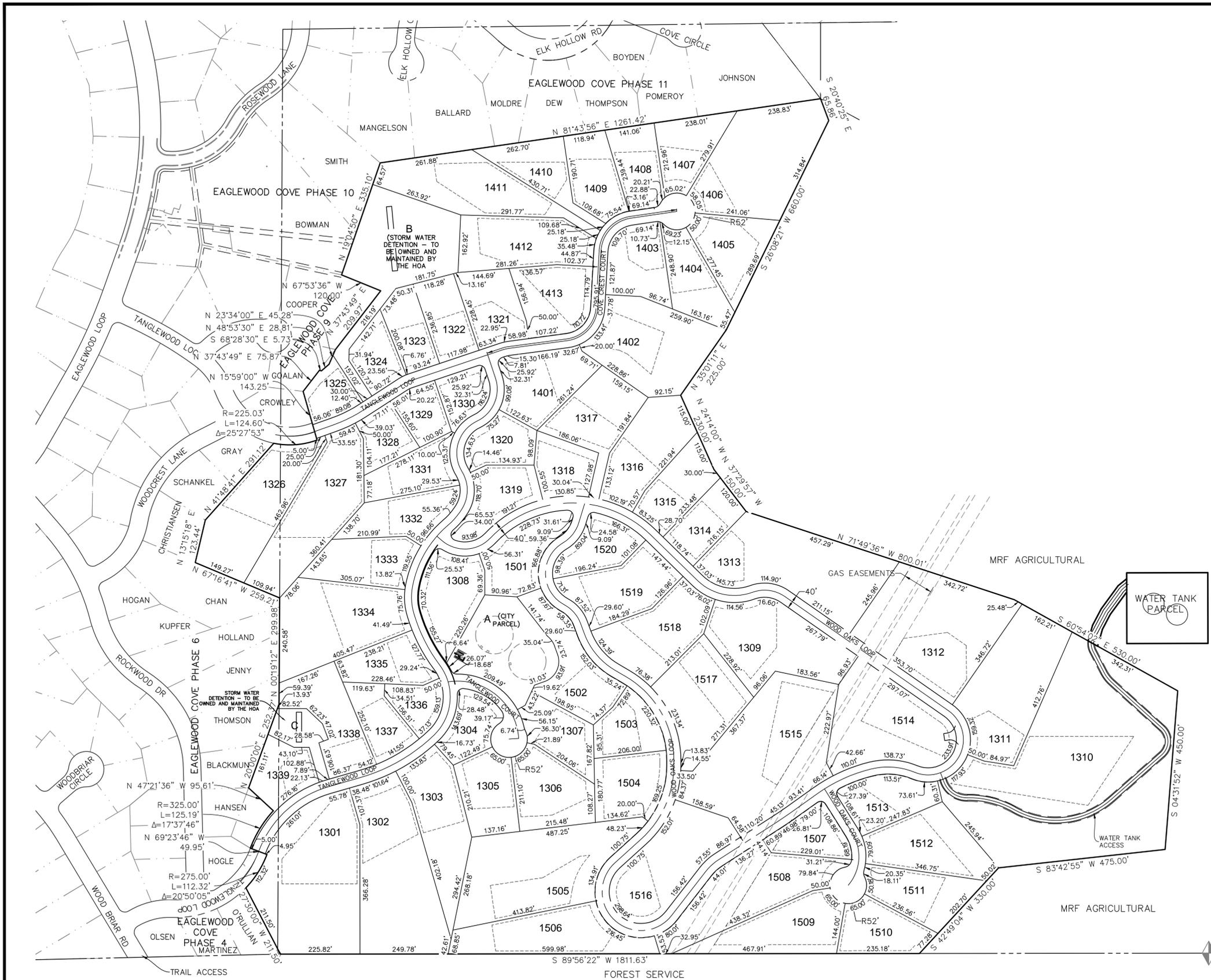
- 1. PHASE 13: 52.7 AC., 39 LOTS
- PHASE 14: 14.4 AC., 13 LOTS
- PHASE 15: 26.6 AC., 20 LOTS



Rev.	By	Date	Remarks
F	JJS	11/04/20	CITY SUBMITTAL
E	JJS	10/02/20	CITY SUBMITTAL

SKY PROPERTIES  
**EAGLEWOOD COVE PLATS 13-15  
 PRELIMINARY PLATS  
 PHASING PLAN**

<b>BINGHAM ENGINEERING</b> SALT LAKE CITY - (801) 532-2520 OGDEN - (801) 399-1662	Des: JJS Drw: JJS Chk: JRL Rvw: JRL	Sht # <b>G2</b> of 5
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EAGLEWOOD COVE LOT DATA

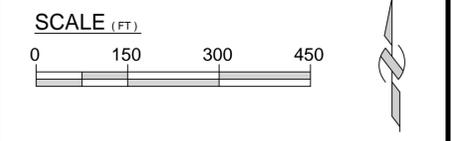
LOT #	LOT AREA SQ.FT.	AC.	BUILDING ENVELOPE SQ.FT.	LOT FRONTAGE AT ZONE SETBACK FT.
1301	113595	2.61	38085	428.81
1302	99582	2.29	23647	147.93
1303	54576	1.25	23726	138.98
1304	23934	0.55	13436	395.12
1305	34379	0.79	17103	90.00
1306	42446	0.97	26695	90.00
1307	30257	0.69	15183	113.33
1308	40003	0.92	25869	429.77
1309	71458	1.64	26137	453.27
1310	276271	6.34	58075	137.59
1311	81606	1.87	13912	185.87
1312	105644	2.43	23612	353.70
1313	96302	2.21	11470	505.55
1314	26694	0.61	13356	118.74
1315	33133	0.76	10692	116.85
1316	48861	1.12	16656	108.20
1317	44987	1.03	15361	140.32
1318	25611	0.59	16422	470.88
1319	31213	0.72	15305	205.66
1320	24524	0.56	15693	149.09
1321	32853	0.75	11263	101.13
1322	27448	0.63	10198	118.21
1323	24291	0.56	9472	151.64
1324	21695	0.50	13617	176.15
1325	17986	0.41	10116	95.81
1326	68072	1.56	30119	142.33
1327	72452	1.66	41954	135.72
1328	20508	0.47	12191	321.93
1329	19024	0.44	11905	155.04
1330	18273	0.42	10214	196.34
1331	29527	0.68	16854	142.33
1332	33618	0.77	15502	127.11
1333	36407	0.84	12153	157.79
1334	74859	1.72	30184	170.23
1335	28842	0.66	9100	135.65
1336	17452	0.40	10822	138.24
1337	25323	0.58	13806	163.84
1338	42742	0.98	7778	364.49
1339	25645	0.59	7186	193.43
1401	42884	0.98	20378	288.24
1402	73586	1.69	17117	90.13
1403	33817	0.78	9777	90.38
1404	33220	0.76	13357	90.43
1405	38289	0.88	22358	90.01
1406	88450	2.03	8675	119.10
1407	31843	0.73	9692	90.00
1408	28996	0.67	14619	300.94
1409	31965	0.73	18213	249.75
1410	31794	0.73	10873	344.46
1411	65749	1.51	29846	117.48
1412	52695	1.21	34926	96.25
1413	38545	0.88	17585	90.00
1501	35897	0.82	16444	276.38
1502	13841	0.32	45083	203.04
1503	27360	0.63	12509	196.96
1504	35313	0.81	24510	300.94
1505	101713	2.34	23171	249.75
1506	55850	1.28	31984	344.46
1507	24594	0.56	14958	117.48
1508	70459	1.62	25581	96.25
1509	49435	1.13	31842	90.00
1510	31806	0.73	24041	95.66
1511	37916	0.87	19691	90.00
1512	50485	1.16	27207	409.41
1513	32448	0.74	9854	738.57
1514	76429	1.75	24256	316.80
1515	122853	2.82	28016	802.88
1516	63762	1.46	14117	276.38
1517	56538	1.30	17520	122.00
1518	52451	1.20	27485	147.44
1519	45735	1.05	31380	153.93
1520	27183	0.62	17591	

PARCELS	AREA	AC.	ENVELOPE	FRONTAGE
A	59886	1.37	N/A	N/A
B	82361	1.89	N/A	N/A
C	16832	0.39	N/A	N/A

- NOTES:**
- ALL LOTS DESIGNATED ARE RESTRICTED AND GOVERNED ACCORDING TO TITLE 10, CHAPTER 12 OF THE NORTH SALT LAKE CITY CODE.
  - MINIMUM SETBACKS:  
FRONT (LOTS > 15%) = 20' (TYP.)  
(LOTS 1508-1509=25'; LOTS 1404-1405=42'; LOT 1406=29'; LOT 1407=38')  
SIDE YARD = 8'  
TOTAL WIDTH OF TWO SIDE YARDS = 20'  
REAR YARD = 25'  
CORNER LOT REAR YARD = 20'  
(8' SIDE YARDS GRAPHICALLY SHOWN)
  - THE LOT LINES SHARED BY LOTS 1403 & 1404 AND LOTS 1407 & 1408 ARE PERPENDICULAR TO THE ROAD CENTERLINE. THE LOT LINE SHARED BY LOTS 1408 & 1409 IS NOT PERPENDICULAR TO THE CURVED ROW TO KEEP THE LOT 1408 AREA BALANCED WITH ADJACENT LOTS WHILE STILL MAINTAINING ADEQUATE FRONTAGE FOR LOT 1409.
  - NO PORTION OF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN A DESIGNATED FLOOD PLAIN.
  - LOTS 1301-1303 AND 1335-1339 ARE REQUIRED TO BE FIRE SPRINKLED.

**DEVELOPMENT INFORMATION:**  
 NO. LOTS= 72 LOTS  
 TOTAL PARCEL= 93.70 ACRES  
 DENSITY=0.77 D.U. PER ACRE

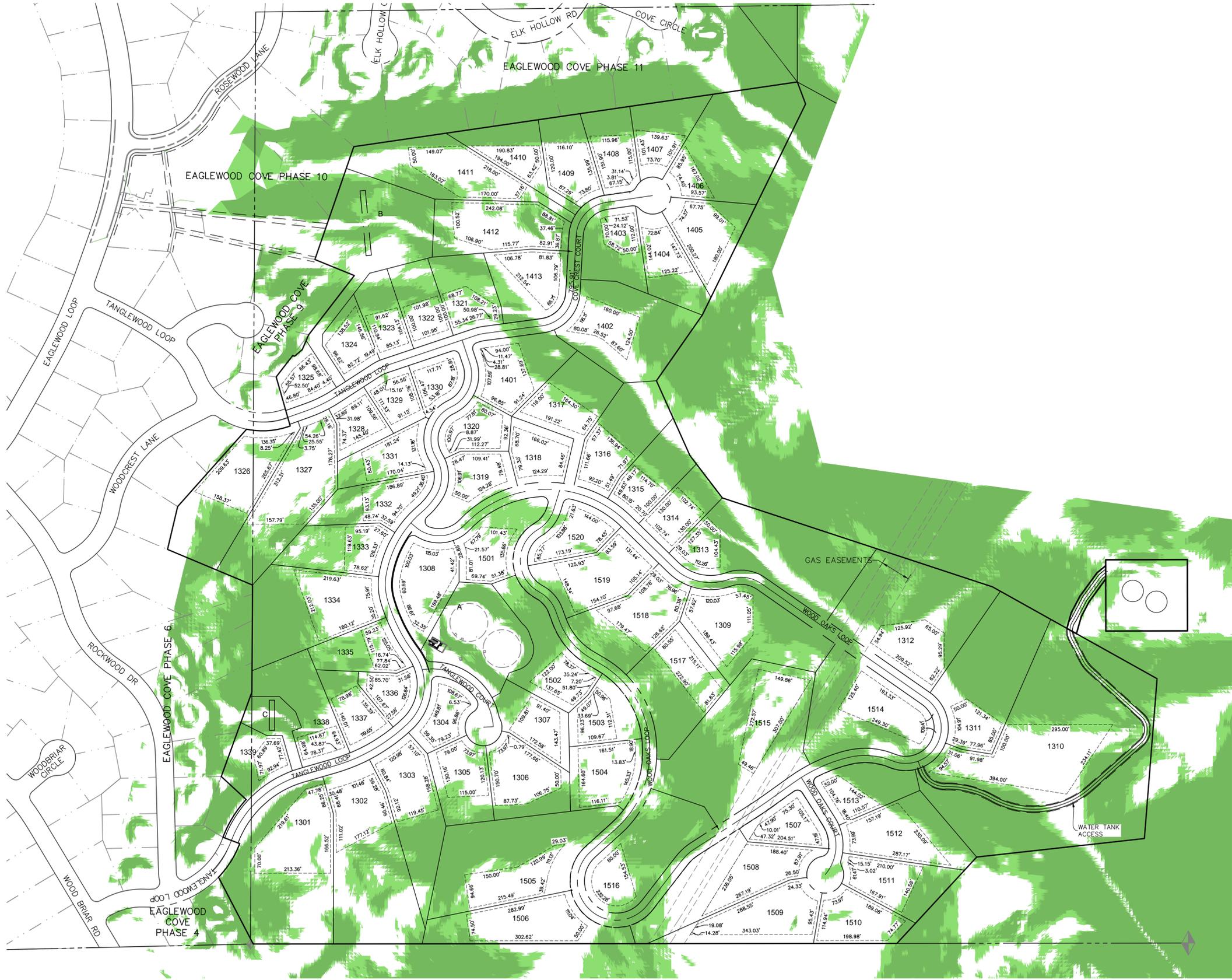
**ZONING: R 1-12**



Rev.	By	Date	Remarks
F	JJS	11/04/20	CITY SUBMITTAL
E	JJS	10/02/20	CITY SUBMITTAL
D	JJS	08/05/20	CITY SUBMITTAL
C	JJS	07/02/20	CITY SUBMITTAL

**SKY PROPERTIES**  
**EAGLEWOOD COVE PLATS 13-15**  
**OVERALL**  
**PRELIMINARY PLAT**

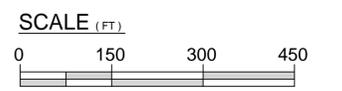
<p><b>BINGHAM ENGINEERING</b> SALT LAKE CITY - (801) 532-2520 OGDEN - (801) 399-1662</p>	Den: JJS Drw: JJS Chk: JRL Rvw: JRL	SHT <b>G3</b> of 5
	Print Date: 11/04/2020 Created: 12/10/13	Proj. # 4893
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	F:\4893\CAD\Prelim\4893 Preliminary Plat.dwg	



**NOTES:**

- ALL LOTS DESIGNATED ARE RESTRICTED AND GOVERNED ACCORDING TO TITLE 10, CHAPTER 12 OF THE NORTH SALT LAKE CITY CODE.
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 TOTAL WIDTH OF TWO SIDE YARDS = 20'  
 REAR YARD = 25'  
 CORNER LOT REAR YARD = 20'  
 (8' SIDE YARDS GRAPHICALLY SHOWN)
- LOTS 1301-1303 AND 1335-1339 ARE REQUIRED TO BE FIRE SPRINKLED.

Slopes Table				
Number	Minimum Slope	Maximum Slope	Slope	Color
1	30.00%	35.00%		
2	35.00%	100.00%		



Rev.	By	Date	Remarks
F	JJS	11/04/20	CITY SUBMITTAL
E	JJS	10/02/20	CITY SUBMITTAL
D	JJS	08/05/20	CITY SUBMITTAL
C	JJS	07/02/20	CITY SUBMITTAL

**SKY PROPERTIES**  
**EAGLEWOOD COVE PLATS 13-15**  
**OVERALL**  
**PRELIMINARY PLAT**  
**BUILDING ENVELOPES**

<b>BINGHAM ENGINEERING</b> SALT LAKE CITY - (801) 532-2520 OGDEN - (801) 399-1662	Des: JJS Drw: JJS Chk: JRL Rvw: JRL	SH# <b>G4</b> of 5	
	Print Date: 11/04/2020	Created: 06/05/20	Proj. # 4893
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# EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

## NOTES

- 1.) All un-fenced property corners will be set with a 5/8" rebar and plastic cap stamped "Bingham Eng." or a rivet where the property corner is in concrete or asphalt.
- 2.) Private roadways (40' wide right-of-way) shall be covered by a blanket easement for private and public utilities. Said easement shall be created by this reference.
- 3.) Private roadways shall have an access easement across it to allow access to adjoining private parcels. Said easement shall be created by this reference.
- 4.) Private roadways shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- 5.) All front and rear public utility easements shown hereon are 10.00 feet wide unless otherwise noted. All side public utility easements are 7 feet unless otherwise noted.
- 6.) The plat coordinates shown hereon are based on the NAD83 datum. Record bearings, distances and coordinate values are shown in brackets [ ]. All other dimensions and coordinate values are measured. Bearings and distances shown in ( ) are easement dimensions.
- 7.) Approval of this development plat by North Salt Lake City does not constitute any representation as to the adequacy of subsurface soil condition or the location or depth of groundwater tables.
- 8.) Street lights on private streets within the P.U.D. shall be operated and maintained by the Eaglewood Cove Homeowners Association.
- 9.) Detention basins, along with storm drain mains, inlet boxes, and storm drain manholes located within private roadways and lots shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- 10.) Development on corner lots within this plat shall conform to the City's adopted clear vision requirements found in Section 10-1-31, City Code.
- 11.) All lots are deemed restricted lots and governed according to Title 10, Chapter 12 of the North Salt Lake City Code.
- 12.) Fire Sprinkling
  - a.) Due to slope of the streets, South Davis Metro Fire shall require that homes on Lots 1301-1303 and 1335-1339 shall be fire sprinkled.
  - b.) Due to the required fire flow capacity and the fixed culinary tank size for the development (300,000 gallons), structures greater than 10,000 sq. ft. shall be required to be fire sprinkled.
- 13.) Ownership of Parcels B and C is hereby dedicated to the Eaglewood Cove Homeowners Association.
- 14.) BUILDING ENVELOPES: All homes and structures shall be contained within the building envelopes as specified on the plat. Approval of accessory structures outside the building envelope shall only be permitted on slopes less than 30% within the required setbacks for the zone. Lot grading outside of the designated building envelopes shall not be allowed to modify the natural grade for the purposes of meeting this requirement. Adjustments to the building envelope up to 10% may be approved by the Community Development Director with the advice of the City Engineer and a finding that requested modification is warranted by environmental features, site conditions, location of existing improvements, architecture or sustainability consideration, or retention of native vegetation and slope. For purposes of this restriction "accessory structures" shall not include mechanical equipment or systems necessary for the operation of permitted private recreational uses, such as ski or sledding tow rope motors and pulleys, which may be constructed in areas greater than 30% slope.

## 15.) CRITICAL SLOPE EASEMENT DESCRIPTION

- a.) AREA OF APPLICATION The Critical Slope Easement restrictions set forth hereinbelow shall apply to those portions of each lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%). Said portions of the lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%) shall be collectively referred to as the "Critical Slope Easement Areas". The topographical map that is required to be submitted for review by North Salt Lake City pursuant to the issuance of the building permit for each Lot shall clearly identify those areas of the respective lot that are situated outside of the building envelope that have slopes in excess of thirty percent (30%).
- b.) UTILITY EASEMENTS IN CRITICAL SLOPE EASEMENT AREAS There is reserved unto North Salt Lake City and any public utility company or private utility, easements within the Critical Slope Easement Areas for the installation, construction, maintenance, repair, and replacement of any utility services and utility lines which serve the Subdivision.
- c.) RESTRICTIONS ON USE OF CRITICAL SLOPE EASEMENT AREAS Except as set forth herein, the Critical Slope Easement Areas shall be used and occupied by the respective owners of the lots and their respective guests and invitees in accordance with the restrictions set forth hereinbelow. Such use will be restricted to foot traffic only. No paving, outbuilding, shed or temporary building of any kind shall be erected, constructed, permitted or maintained on, under, or within the Critical Slope Easement Areas. Furthermore, except as provided herein, the owner of the Lot upon which any of the Critical Slope Easement Areas are located shall not excavate, grade, fill, litter, dump or disturb the vegetation (except as is reasonably necessary when planting additional plants, shrubs, or trees) nor store materials upon, over, or across the Critical Slope Easement Areas. Soils excavated as part of the footing and foundation may be temporarily stored within the building envelope for the purposes of backfilling the foundation and the remaining soil should be removed from the site or incorporated in landscaping but and not deposited on critical slope easements. The owners of the Lots may plant additional plants, shrubs, and trees upon the Critical Slope Easement Areas including limited excavation and irrigation that is reasonably necessary to plant any such plants, shrubs, and trees. Excavation will be limited to hand digging and the use of a small trencher for irrigation purposes.
- d.) PRIVATE RECREATIONAL USES. The owners of the Lots may request a land use permit from the Community Development Department for construction of accessory structures or land uses outside of the building envelope for the purposes of private recreational (non-commercial) use under the following restrictions:
  - i.) Submittal of a survey, prepared by a licensed surveyor, demonstrating the slope of the area where an accessory structure is to be placed has a slope less than 30%.
  - ii.) The property owner has demonstrated that the construction for the land use can be completed in a manner which protects and preserves the native vegetation; or minimizes disturbing vegetation and an appropriate restoration bond is submitted equal to the estimated restoration costs.
  - iii.) Construction of structures shall be limited to a maximum one structure 200 sq. ft. or less, and a maximum height of 14' to the top of roof. Accessory dwelling units and garages shall not be permitted outside the building envelope, unless they are directly adjacent to the building envelope.
  - iv.) Land use permits shall be accompanied by a letter from the HOA acknowledging their approval and conditions for the structure and land use requested.
  - v.) Structures shall be designed and use similar materials of the main structure on the property or shall be designed to blend into the natural environment.
  - vi.) Examples of appropriate land uses outside the building envelope are: private recreational picnic areas, small pavilions, gazebos, trails, gardens and garden sheds, sports courts (200 sq. ft. or less), etc. Land uses such as private ski or sledding runs which require the use of motorized tow ropes, may only be permitted with mechanical systems that are contained entirely within an accessory structure or cabinet, and are constructed to reduce or dampen noise from the tow motor. Operation of a tow rope shall only be permitted during daytime hours. No lighting of the runs is permitted.
- e.) DEVELOPER The foregoing notwithstanding, said restrictions upon excavation, grading, and filling shall not apply to grading and filling performed by the developer of the Lots in accordance with an approved development grading plan.
- f.) MAINTENANCE The respective owners of the Lots upon which any portion of the Critical Slope Easement Areas may be located shall be responsible for maintaining that portion of the Critical Slope Easement Areas which is located on their respective lots.
- g.) EASEMENTS DEEMED CREATED Any and all conveyances of any lot on which any portion of the Critical Slope Easement Areas outside of the applicable Building Envelope for each lot shall be construed to grant and reserve such Critical Slope Easement Areas as provided herein even though no specific reference to such easements appears in any such conveyance.

16.) Native vegetation shall not be disturbed on slopes greater than 30%.

17.) DRIVEWAY SLOPES: All driveways shall not exceed 10% grade.

18.) CROSS EASEMENT ACCESSES: The following lots contain cross easement accesses including shared driveways which easement is defined and governed in the CCR's: Lots 1301 & 1302. Said easement shall provide for: (a) the design and construction of the driveway access easement area by the respective parties thereto, (b) the ongoing maintenance and repair of the driveway access easement area by the respective parties thereto; (c) snow removal from the driveway access easement area; and (d) how the costs of both maintenance & repair and snow removal of the driveway access easement area shall be allocated between the respective owners. Said easement shall be managed and enforced by the Eaglewood Cove Home Owners Association.

19.) RESTRICTED ACCESS AREAS: For Lots marked with restricted access shall have limited entry from those areas for property maintenance, temporary construction access, or other permitted uses only. No permanent vehicular access from those areas shall be permitted without review and approval of the city development review committee and a finding that the requested access will result in a safer access than could otherwise be approved outside the restricted access area, will result in few cuts and fills, and has been reviewed and approved by the city's geotechnical consultant.

20.) GEOTECH: IN ACCORDANCE WITH CITY CODE SECTION 10-12-4 ALL LOTS ARE REQUIRED TO SUBMIT WITH BUILDING PERMIT APPLICATION: "A SITE SPECIFIC GEOTECHNICAL REPORT IN ACCORDANCE WITH CHAPTER 18 OF THE INTERNATIONAL BUILDING (IBC) AND ANY ENGINEERED CONSTRUCTION PLAN WHICH HAS BEEN DESIGNED IN COMPLIANCE WITH THE RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL REPORT FOR SITE EXCAVATION, GRADING, SLOPE STABILITY, STRUCTURAL COMPONENTS, LANDSCAPING, OR ANY OTHER GEOLOGIC HAZARD MITIGATION SPECIFIED."

THE REPORT MUST CERTIFY THAT THE DESIGN OF THE CONSTRUCTION HAS BEEN DONE IN ACCORD WITH THE RECOMMENDATIONS FOR THAT SPECIFIC LOT AS CONTAINED WITHIN THE "GEOTECHNICAL & GEOLOGIC HAZARD INVESTIGATION REPORT: EAGLEWOOD COVE RESIDENTIAL DEVELOPMENT, PHASES 13-15", PREPARED BY INTERMOUNTAIN GEOTECHNICAL SERVICES INC. (IGES) DATED JUNE 30, 2020 AND UPDATED \_\_\_\_\_ THE REPORT MUST ADDRESS SECTION 7.0 GEOLOGIC CONCLUSIONS AND RECOMMENDATIONS, SECTION 8.0 ENGINEERING CONCLUSIONS AND RECOMMENDATIONS, AND TABLE H SPECIAL RECOMMENDATIONS BY LOT.

## OWNER'S DEDICATION AND CONSENT TO RECORD

Know by all men by these presents, that the undersigned owner of the parcel of land shown on this plat, and described hereon, have caused the parcel to be subdivided into the lots, public utility easements and private roadways as shown on this plat to be hereafter known as:

## EAGLEWOOD COVE SUBDIVISION PHASE 13

W. Scott Kjar, Manager  
Eaglewood Investment LLC

North Salt Lake City  
"Owner of Parcel A"

George W. Cannon, General Partner  
MRF Family Limited

## ACKNOWLEDGMENT

State of Utah )  
County of Davis )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me, W. Scott Kjar, who being by me duly sworn, did say that he is the manager of Eaglewood Investment LLC, and that the foregoing instrument was signed on behalf of said Eaglewood Investment LLC, and said W. Scott Kjar acknowledged to me that said Eaglewood Investment LLC executed the same.

Notary Public for the State of \_\_\_\_\_

Notary Seal

My Commission Expires \_\_\_\_\_

## ACKNOWLEDGMENT

State of Utah )  
County of Davis )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me, \_\_\_\_\_, who being by me duly sworn, did say that he is the \_\_\_\_\_ of North Salt Lake City, and that the foregoing instrument was signed on behalf of said North Salt Lake City, and said \_\_\_\_\_ acknowledged to me that said North Salt Lake City executed the same.

Notary Public for the State of \_\_\_\_\_

Notary Seal

My Commission Expires \_\_\_\_\_

## ACKNOWLEDGMENT

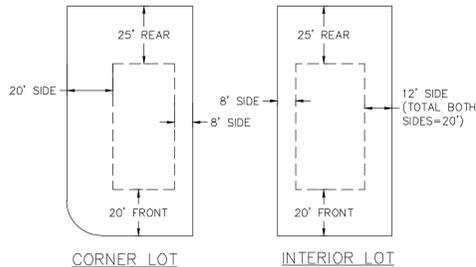
State of Utah )  
County of Davis )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me, George W. Cannon, who being by me duly sworn, did say that he is the General Partner of MRF Family Limited, a Utah Limited Partnership, and that the foregoing instrument was signed on behalf of said MRF Family Limited, and said George W. Cannon acknowledged to me that said MRF Family Limited, executed the same.

Notary Public for the State of \_\_\_\_\_

Notary Seal

My Commission Expires \_\_\_\_\_



CORNER LOT INTERIOR LOT

## TYPICAL SETBACK DETAILS

## MINIMUM SETBACKS:

FRONT = 20' (TYP., EXCEPT WHERE DESIGNATED BUILDING ENVELOPE REQUIRES A GREATER SETBACK AS SHOWN)  
SIDE YARD = 8'  
TOTAL WIDTH OF TWO SIDE YARDS = 20'  
REAR YARD = 25'  
CORNER LOT REAR YARD = 20'

(8' SIDE YARDS GRAPHICALLY SHOWN)

## SURVEYOR'S CERTIFICATE

I, D. Gregg Meyers do hereby certify that I am a Professional Land Surveyor, and that I hold License Number 312770 in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act, and have completed a survey of the property described hereon in accordance with Section 17-23-17 Utah State Code, and have verified all measurements and placed monuments as represented on this plat, and have subdivided said tract of land into private roads, lots and parcels together with public utility easements hereafter to be known as Eaglewood Cove Subdivision Phase 13.

Date: 11/04/2020

D. Gregg Meyers  
D. Gregg Meyers  
P.L.S. No. 312770



REVIEW ONLY

## BOUNDARY DESCRIPTION:

A parcel of land located in the South Half of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian, North Salt Lake City, Davis County, Utah, more particularly described as follows:

Beginning at the east corner of Lot 608, Eaglewood Cove Subdivision Phase 6 as recorded in the office of the Davis County Recorder as Entry No. 1262635, said point is North 00°19'12" East along the Quarter Section Line 707.35 feet from the South Quarter Corner of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian, and running thence along the boundary of said Phase 6, Eaglewood Cove Subdivision Phase 5 as recorded in said office as Entry No. 1254115 and Eaglewood Cove Subdivision Phase 9 as recorded in said office as Entry No. 1348344 the following seven (7) courses and distances: 1) North 00°19'12" East 299.98 feet, 2) North 67°16'41" West 259.21 feet, 3) North 13°15'18" East 123.44 feet, 4) North 41°48'41" East 291.12 feet, 5) easterly along the arc of a 225.00 foot radius non-tangent curve to the left, the center of which bears North 11°39'20" East, through a central angle of 31°43'41" a distance of 124.60 feet (chord bearing N 85°47'29" E, chord length 123.01'), 6) North 15°59'00" West 143.25 feet and 7) North 37°43'49" East 75.87 feet to a point on the east line of Lot 909 of said Phase 9; thence South 68°28'30" East 5.73 feet; thence North 48°53'30" East 28.81 feet; thence North 23°34'00" East 45.28 feet to the northeast corner of said Lot 909; thence along the boundary of said Phase 9 and the boundary of Eaglewood Cove Subdivision Phase 10 as recorded in said office as Entry No. 1506422 the following three (3) courses and distances: 1) North 37°43'49" East 209.97 feet, 2) North 67°53'36" West 120.00 feet and 3) North 19°04'50" East 270.53 feet; thence South 70°55'10" East 263.92 feet; thence South 02°41'45" West 162.92 feet; thence North 85°27'05" East 144.69 feet; thence South 18°29'50" East 156.94 feet; thence South 07°32'30" East 90.00 feet; thence South 82°27'30" West 58.98 feet; thence westerly along the arc of an 80.00 foot radius curve to the left, through a central angle of 10°57'20" a distance of 15.30 feet (chord bearing S 76°58'50" W, chord length 15.27'); thence South 71°30'10" West 7.81 feet; thence southwesterly along the arc of a 16.50 foot radius curve to the left, through a central angle of 90°00'00" a distance of 25.92 feet (chord bearing S 26°30'10" W, chord length 23.33'); thence South 18°29'50" East 32.31 feet; thence southerly along the arc of a 120.00 foot radius curve to the right, through a central angle of 47°18'33" a distance of 99.08 feet (chord bearing S 05°09'27" W, chord length 96.29'); thence South 61°11'16" East 122.63 feet; thence North 45°02'21" East 261.24 feet; thence South 55°06'05" East 159.15 feet; thence North 86°06'06" East 192.15 feet; thence South 24°14'00" East 230.00 feet; thence South 37°29'57" East 150.00 feet; thence South 71°49'36" East 800.01 feet; thence South 60°54'02" East 530.00 feet; thence South 04°31'52" West 450.00 feet; thence South 83°42'55" West 475.00 feet; thence North 40°30'18" West 245.94 feet; thence North 12°47'48" West 100.31 feet; thence northeasterly along the arc of a non-tangent curve the left, the center of which bears North 12°47'48" West, through a central angle of 132°22'38" a distance of 184.83 feet (chord bearing N 11°00'53" E, chord length 146.38'); thence North 55°10'26" West 297.07 feet; thence South 34°49'34" West 96.93 feet; thence North 78°05'59" West 183.56 feet; thence South 39°38'51" West 96.06 feet; thence North 38°12'11" West 228.92 feet; thence North 18°34'24" East 102.09 feet; thence northwesterly along the arc of a 170.00 foot radius non-tangent curve to the right, the center of which bears North 18°34'24" East, through a central angle of 25°37'16" a distance of 76.02 feet (chord bearing N 58°36'58" W, chord length 75.39'); thence North 45°48'20" West 184.47 feet; thence northwesterly along the arc of a 300.00 foot radius curve to the left, through a central angle of 31°45'47" a distance of 166.31 feet (chord bearing N 61°41'14" W, chord length 164.19'); thence westerly along the arc of a 16.50 foot radius compound curve to the left, through a central angle of 85°22'04" a distance of 24.58 feet (chord bearing S 59°44'51" W, chord length 22.37'); thence South 17°03'49" West 15.79 feet; thence North 72°56'11" West 40.00 feet; thence northwesterly along the arc of a 16.50 foot radius non-tangent curve to the left, North 72°56'11" West, through a central angle of 109°46'14" a distance of 31.61 feet (chord bearing N 37°49'18" W, chord length 26.99'); thence southwesterly along the arc of a 300.00 foot radius compound curve to the left, through a central angle of 43°41'01" a distance of 228.73 feet (chord bearing S 65°27'04" W, chord length 223.23'); thence southwesterly along the arc of a 120.00 foot radius reverse curve to the right, through a central angle of 26°53'10" a distance of 56.31 feet (chord bearing S 57°03'08" W, chord length 55.79'); thence South 19°30'17" East 50.00 feet; thence South 69.36 feet; thence South 86°24'20" East 90.96 feet; thence South 37°58'31" East 141.74 feet; thence southeasterly along the arc of a 65.00 foot radius non-tangent curve to the right, the center of which bears South 39°18'01" West, through a central angle of 30°53'16" a distance of 35.04 feet (chord bearing S 35°15'21" E, chord length 34.62'); thence South 19°48'43" East 23.53 feet; thence southerly along the arc of a 60.00 foot radius non-tangent curve to the right, the center of which bears South 70°05'17" West, through a central angle of 89°52'43" a distance of 94.12 feet (chord bearing S 25°01'38" W, chord length 84.76'); thence South 70°00'00" West 31.03 feet; thence South 25°00'00" West 19.62 feet; thence South 61°38'46" East 198.95 feet; thence South 01°07'46" East 276.08 feet; thence South 83°13'27" West 352.63 feet; thence South 11°28'37" West 337.03 feet to the South Section Line of said Section 7; thence South 89°56'22" West along said line 475.61 feet to the southeast corner of Lot 408, Eaglewood Cove Subdivision Phase 4 as recorded in said office as Entry No. 1169753; thence along the boundary of said Phase 4 the following three (3) courses and distances: 1) North 27°31'10" West 211.48 feet, 2) northeasterly along the arc of a 274.96 foot radius non-tangent curve to the left, through a central angle of 23°25'17" a distance of 112.40 feet (chord bearing N 32°17'59" E, chord length 111.62') and 3) North 69°23'46" West 49.95 feet; thence northeasterly along the arc of a 325.00 foot radius non-tangent curve to the right, through a central angle of 22°04'11" a distance of 125.19 feet (chord bearing N 31°37'19" E, chord length 124.41'); thence North 47°21'36" West 95.61 feet to the northeast corner of Lot 606, said Phase 6; thence North 20°00'00" East along the boundary of said Phase 6 252.37 feet to the point of beginning.

Containing 2,296,061 Square Feet or 52.710 Acres, 39 Lots, 3 Parcels, and 4 Private Streets.

Plat Prepared By:

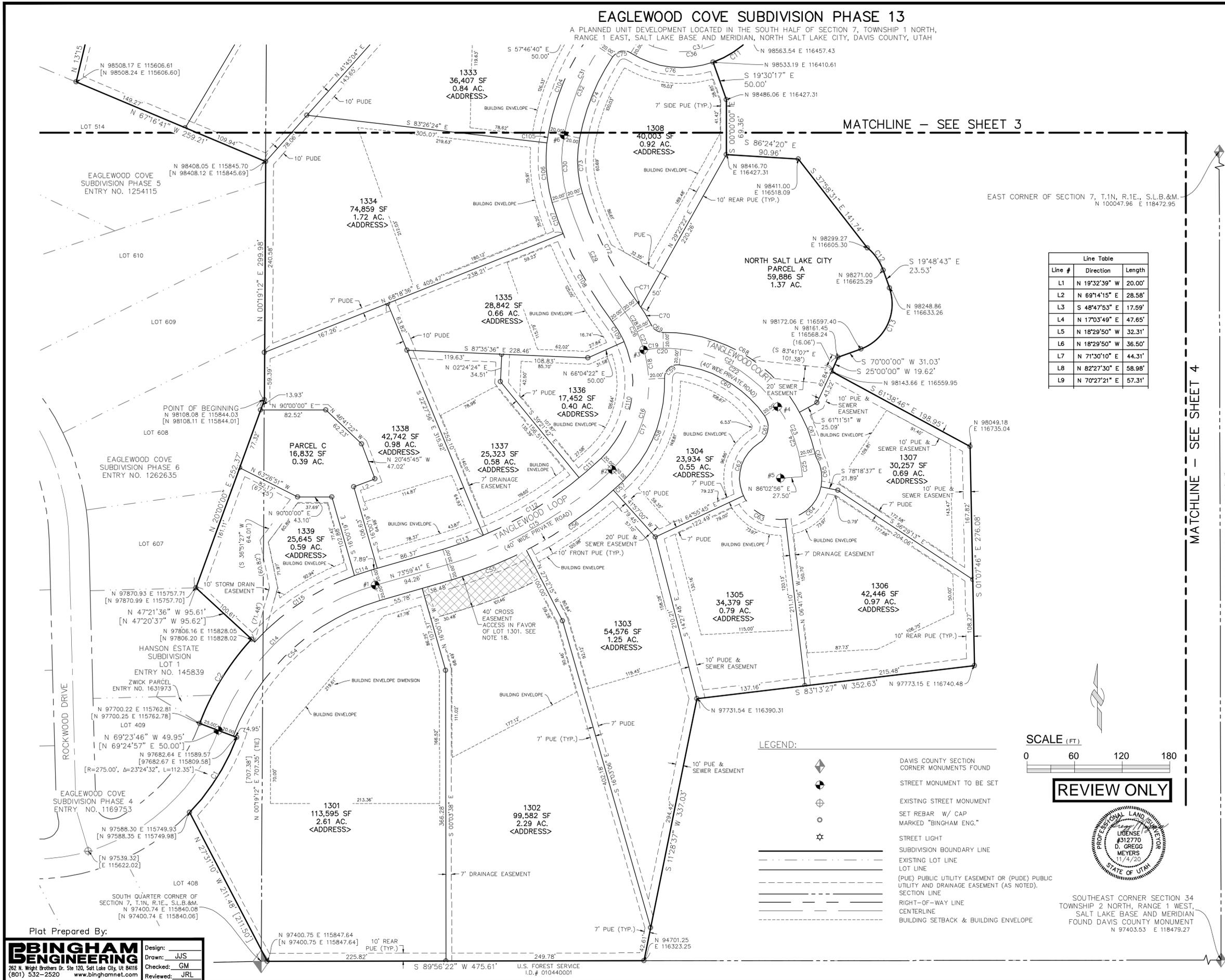


Design: \_\_\_\_\_  
Drawn: JJS  
Checked: GM  
Reviewed: JRL

City Council Approval	Recommended for Approval	Recommended for Approval	Recommended for Approval	Davis County Recorder
Presented to the City Council of North Salt Lake City, Utah This _____ day of _____, 2020 at which time this subdivision was approved and accepted.	This _____ day of _____, 2020.	This _____ day of _____, 2020.	This _____ day of _____, 2020.	Entry No. _____ Fee Paid _____ Filed for record and recorded this _____ day of _____, 2020 at _____ in Book _____ of Official Records Page _____
Mayor _____ Attest: City Recorder _____	City Engineer _____	Chairman, Planning Commission _____	City Attorney _____	County Recorder _____ By: _____ Deputy Recorder _____
Date 11/04/2020	Proj. # 4893	Sht 1	of 4	

# EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH



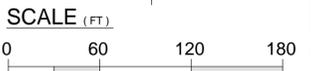
Line #	Direction	Length
L1	N 19°32'39" W	20.00'
L2	N 69°14'15" E	28.58'
L3	S 48°47'53" E	17.59'
L4	N 17°03'49" E	47.65'
L5	N 18°29'50" W	32.31'
L6	N 18°29'50" W	36.50'
L7	N 71°30'10" E	44.31'
L8	N 82°27'30" E	58.98'
L9	N 70°27'21" E	57.31'

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	112.40'	274.96'	23°25'17"	111.62'	N 32°17'59" E
C2	125.19'	325.00'	22°04'11"	124.41'	N 31°37'19" E
C3	124.60'	225.00'	31°43'41"	123.01'	N 85°47'29" E
C4	15.30'	80.00'	10°57'20"	15.27'	S 76°58'50" W
C5	25.92'	16.50'	90°00'00"	23.33'	S 26°30'10" W
C6	99.08'	120.00'	47°18'33"	96.29'	S 05°09'27" W
C7	166.31'	300.00'	31°45'47"	164.19'	N 61°41'14" W
C8	24.58'	16.50'	85°22'04"	22.37'	S 59°44'51" W
C9	31.61'	16.50'	109°46'14"	26.99'	N 37°49'18" W
C10	228.73'	300.00'	43°41'01"	223.23'	S 65°27'04" W
C11	56.31'	120.00'	26°53'10"	55.79'	S 57°03'08" W
C12	35.04'	65.00'	30°53'16"	34.62'	S 35°15'21" E
C13	94.12'	60.00'	89°52'43"	84.76'	S 25°01'38" W
C14	279.66'	300.00'	53°24'39"	269.64'	S 47°17'22" W
C15	242.50'	500.00'	27°47'19"	240.13'	N 60°06'02" E
C16	164.18'	150.00'	62°42'43"	156.11'	N 14°51'01" E
C17	126.78'	150.00'	48°25'38"	123.04'	N 21°59'33" E
C18	37.40'	150.00'	14°17'04"	37.30'	N 09°21'48" W
C19	24.64'	174.00'	8°06'45"	24.62'	S 85°16'15" W
C20	46.93'	174.00'	15°27'11"	46.79'	S 88°56'28" W
C21	168.66'	174.00'	55°32'15"	162.13'	N 62°54'15" W
C22	146.37'	174.00'	48°11'49"	142.09'	N 59°14'01" W
C23	69.60'	174.00'	22°55'02"	69.13'	N 23°40'36" W
C24	94.70'	174.00'	31°11'03"	93.54'	N 19°32'35" W
C25	25.11'	174.00'	8°16'02"	25.08'	N 08°05'05" W
C26	53.17'	150.00'	20°18'35"	52.89'	N 26°39'38" W
C27	24.31'	150.00'	9°17'06"	24.28'	N 21°08'53" W
C28	28.86'	150.00'	11°01'28"	28.82'	N 31°18'11" W
C29	162.26'	464.00'	20°02'12"	161.44'	S 26°47'49" E
C30	79.95'	166.00'	27°35'45"	79.18'	S 02°58'50" E
C31	159.09'	300.00'	30°23'05"	157.24'	S 26°00'35" W
C32	119.31'	300.00'	22°47'13"	118.53'	S 22°12'39" W
C33	39.78'	300.00'	7°35'52"	39.75'	S 37°24'11" W
C34	35.40'	100.00'	20°17'01"	35.22'	S 58°56'23" E
C35	15.61'	100.00'	8°56'47"	15.60'	S 53°16'16" E
C36	137.26'	100.00'	78°38'47"	126.74'	N 82°55'57" E
C37	117.48'	100.00'	67°18'33"	110.84'	N 77°15'50" E
C38	294.65'	320.00'	52°45'27"	284.35'	S 69°59'17" W
C39	243.98'	320.00'	43°41'01"	238.11'	S 65°27'04" W
C40	50.68'	320.00'	9°04'26"	50.63'	N 88°10'12" W
C41	211.27'	320.00'	37°49'39"	207.45'	N 64°43'10" W
C42	33.87'	320.00'	6°03'52"	33.85'	N 80°38'03" W
C43	177.40'	320.00'	31°45'47"	175.14'	N 61°41'14" W
C44	43.60'	300.00'	8°19'37"	43.56'	S 45°21'56" W
C45	1.94'	200.00'	0°33'26"	1.94'	N 49°15'02" E
C46	61.51'	200.00'	17°37'20"	61.27'	N 40°43'05" E
C47	59.57'	200.00'	17°03'54"	59.35'	N 40°26'22" E
C48	110.96'	100.00'	63°34'36"	105.36'	N 00°07'07" E
C49	168.29'	100.00'	96°25'16"	149.12'	S 16°32'27" W
C50	145.30'	100.00'	83°14'54"	132.85'	N 23°07'38" E
C51	19.12'	100.00'	10°57'20"	19.09'	S 76°58'50" W
C52	25.27'	100.00'	14°28'44"	25.20'	S 64°15'48" W
C53	93.77'	400.00'	13°25'55"	93.56'	N 63°44'24" E
C54	261.01'	280.00'	53°24'39"	251.67'	S 47°17'22" W
C55	101.64'	520.00'	11°11'56"	101.48'	N 68°23'43" E
C56	133.83'	520.00'	14°44'45"	133.46'	N 55°25'23" E
C57	16.73'	520.00'	1°50'37"	16.73'	N 47°07'41" E
C58	143.69'	170.00'	48°25'38"	139.45'	N 21°59'33" E
C59	28.48'	16.50'	98°53'20"	25.07'	S 47°13'24" W
C60	129.54'	154.00'	48°11'49"	125.76'	N 59°14'01" W
C61	39.17'	24.00'	93°31'18"	34.97'	N 11°37'32" E
C62	75.74'	52.00'	83°27'26"	69.22'	S 16°39'28" W
C63	65.00'	52.00'	71°37'11"	60.85'	S 60°52'51" E
C64	65.00'	52.00'	71°37'11"	60.85'	N 47°29'58" E
C65	36.30'	52.00'	39°59'57"	35.57'	N 08°18'36" W
C66	6.74'	24.00'	16°05'29"	6.72'	S 20°15'50" E
C67	56.15'	194.00'	16°35'04"	55.96'	N 20°30'37" W

SEE SHEET 4 FOR REMAINING CURVES INFORMATION

### LEGEND:

- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- STREET LIGHT
- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- LOT LINE
- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE



**REVIEW ONLY**



SOUTHEAST CORNER SECTION 34 TOWNSHIP 2 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN FOUND DAVIS COUNTY MONUMENT N 97403.53 E 118479.27

Plat Prepared By:

**BINGHAM ENGINEERING**  
 262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116  
 (801) 532-2520 www.binghamnet.com

Design: JJS  
 Drawn: JJS  
 Checked: GM  
 Reviewed: JRL

Davis County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_

Filed for record and recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ in Book \_\_\_\_\_ of Official Records Page \_\_\_\_\_

County Recorder \_\_\_\_\_  
 By: \_\_\_\_\_  
 Deputy Recorder \_\_\_\_\_

Date 11/04/2020 Proj. # 4893 Sht 2 of 4

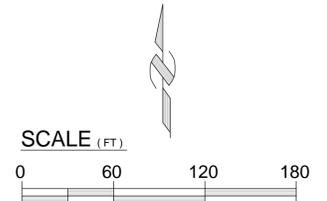
# EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

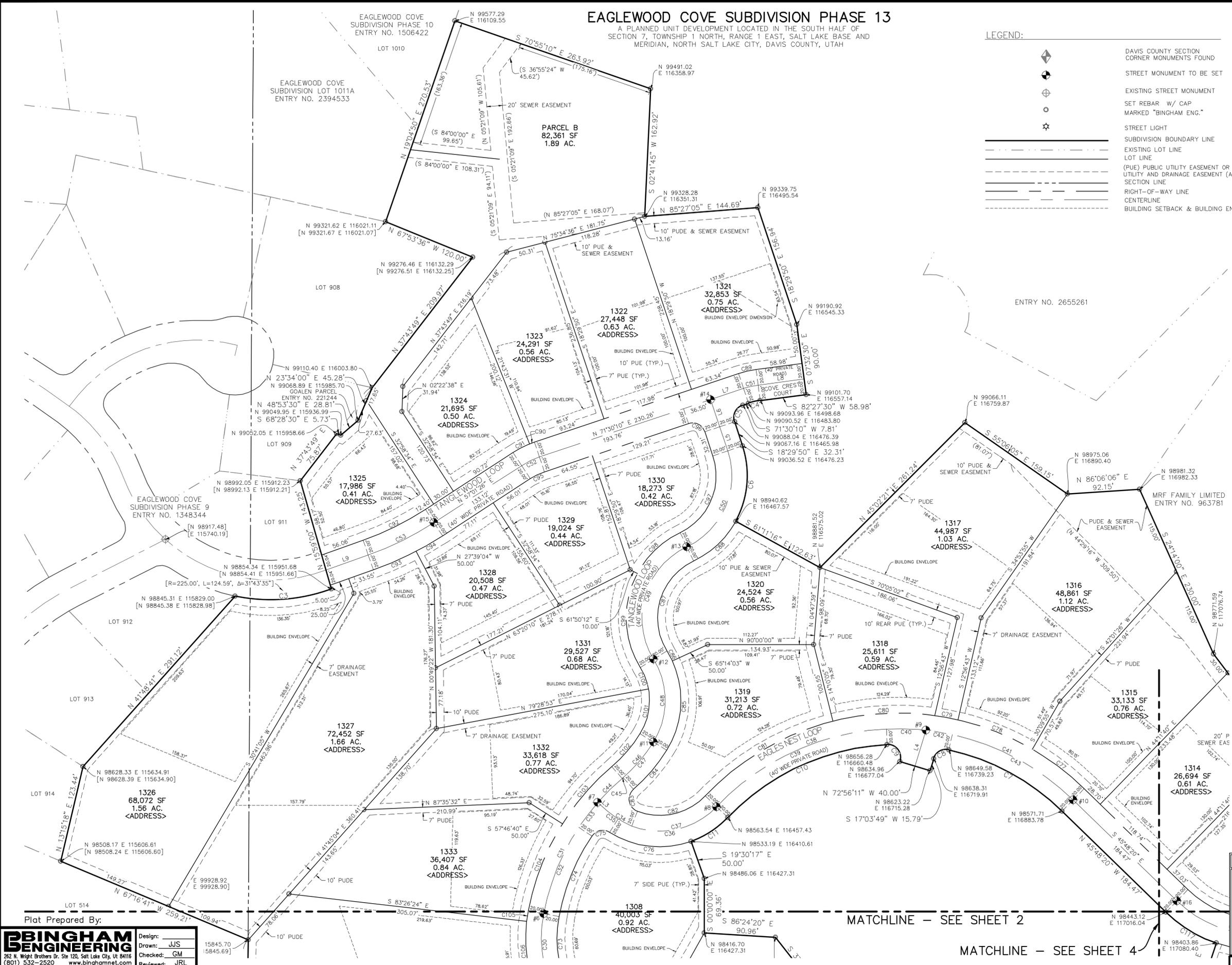
## LEGEND:

- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- STREET LIGHT
- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- LOT LINE
- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE

Street Monument Table		
MON#	NORTHING	EASTING
1	97874.31	115984.34
2	98020.00	116283.11
3	98170.90	116323.12
4	98099.08	116492.00
5	98009.03	116495.85
6	98441.34	116222.49
7	98582.65	116291.44
8	98577.33	116442.95
9	98674.64	116710.14
10	98586.05	116897.72
11	98659.70	116362.41
12	98765.05	116362.63
13	98908.00	116405.08
14	99095.43	116435.43
15	98938.97	116082.69
16	98457.46	117029.98
17	98412.22	117277.31
18	98089.64	117740.99



**REVIEW ONLY**



Plat Prepared By:

**BINGHAM ENGINEERING**  
 262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116  
 (801) 532-2520 www.binghamnet.com

Design: JJS  
 Drawn: JJS  
 Checked: GM  
 Reviewed: JRL

15845.70  
 15845.69

MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 4

Davis County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_  
 Filed for record and recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ in Book \_\_\_\_\_ of Official Records Page \_\_\_\_\_

County Recorder \_\_\_\_\_  
 By: \_\_\_\_\_  
 Deputy Recorder \_\_\_\_\_

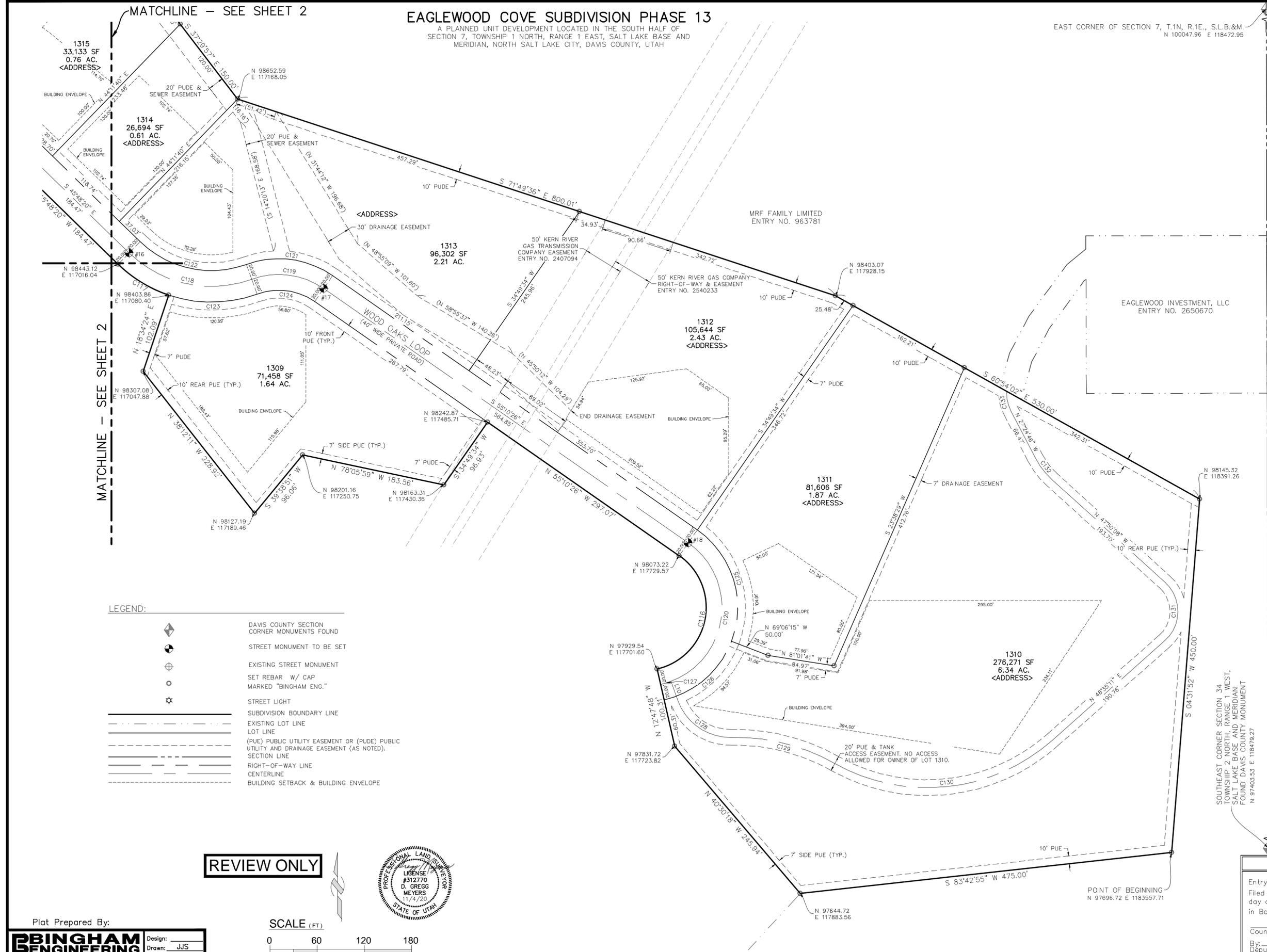
Date 11/04/2020 Proj. # 4893 Sht 3 of 4

# EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

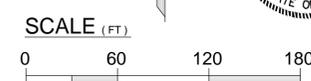
EAST CORNER OF SECTION 7, T.1N, R.1E., S.L.B.&M.  
N 100047.96 E 118472.95

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C68	209.49'	194.00'	61°52'13"	199.46'	N 59°44'16" W
C69	18.68'	16.50'	64°52'56"	17.70'	S 58°13'54" E
C70	26.07'	170.00'	8°47'17"	26.05'	N 30°11'05" W
C71	6.84'	170.00'	2°14'12"	6.84'	N 35°41'49" W
C72	155.27'	444.00'	20°02'12"	154.48'	S 26°47'49" E
C73	70.32'	146.00'	27°35'45"	69.64'	S 02°58'50" E
C74	111.36'	280.00'	22°47'13"	110.63'	S 22°12'39" W
C75	25.53'	16.50'	88°39'05"	23.06'	S 77°55'48" W
C76	108.41'	120.00'	51°45'37"	104.76'	S 83°37'28" E
C77	83.25'	340.00'	14°01'45"	83.04'	N 52°49'12" W
C78	102.19'	340.00'	17°13'12"	101.80'	N 68°26'41" W
C79	30.04'	340.00'	5°03'44"	30.03'	N 79°35'09" W
C80	130.85'	340.00'	22°03'04"	130.05'	S 86°51'27" W
C81	191.21'	340.00'	32°13'21"	188.70'	S 59°43'14" W
C82	93.98'	80.00'	67°18'33"	88.67'	N 77°15'50" E
C83	34.00'	16.50'	118°03'13"	28.29'	S 10°03'18" E
C84	65.53'	220.00'	17°03'54"	65.28'	N 40°26'22" E
C85	118.70'	120.00'	56°40'22"	113.92'	N 03°34'14" E
C86	14.46'	120.00'	6°54'14"	14.45'	N 28°13'04" W
C87	134.63'	80.00'	96°25'16"	119.30'	S 16°32'27" W
C88	75.27'	120.00'	35°56'21"	74.04'	N 46°46'54" E
C89	22.95'	120.00'	10°57'20"	22.91'	S 76°58'50" W
C90	6.76'	73.61'	5°15'46"	6.76'	S 69°33'46" W
C91	23.56'	114.65'	11°46'31"	23.52'	S 62°44'33" W
C92	89.08'	380.00'	13°25'55"	88.88'	N 63°44'24" E
C93	59.43'	420.00'	8°06'25"	59.38'	N 66°24'09" E
C94	39.03'	420.00'	5°19'30"	39.02'	N 59°41'11" E
C95	20.22'	80.00'	14°28'44"	20.16'	S 64°15'48" W
C96	25.92'	16.50'	90°00'00"	23.33'	N 63°29'50" W
C97	116.24'	80.00'	83°14'54"	106.28'	N 23°07'38" E
C98	76.63'	120.00'	36°35'17"	75.33'	S 46°27'27" W
C99	125.31'	120.00'	59°50'00"	119.70'	S 01°45'12" E
C100	29.53'	80.00'	21°09'04"	29.37'	N 21°05'39" W
C101	59.24'	80.00'	42°25'32"	57.89'	N 10°41'39" E
C102	55.36'	180.00'	17°37'20"	55.14'	N 40°43'05" E
C103	96.66'	320.00'	17°18'25"	96.29'	S 40°52'32" W
C104	119.55'	320.00'	21°24'17"	118.85'	S 21°31'11" W
C105	13.82'	186.00'	4°15'27"	13.82'	S 08°41'19" W
C106	75.76'	186.00'	23°20'19"	75.24'	S 05°06'33" E
C107	41.49'	484.00'	4°54'41"	41.48'	S 19°14'03" E
C108	127.77'	484.00'	15°07'31"	127.40'	S 29°15'09" E
C109	29.24'	130.00'	12°53'17"	29.18'	N 30°22'16" W
C110	158.13'	130.00'	70°08'00"	149.38'	N 11°08'22" E
C111	37.13'	480.00'	4°25'56"	37.12'	N 48°25'20" E
C112	141.55'	480.00'	16°53'46"	141.04'	N 59°05'11" E
C113	54.12'	480.00'	6°27'38"	54.09'	N 70°45'53" E
C114	22.13'	320.00'	3°57'44"	22.12'	S 72°00'49" W
C115	152.89'	320.00'	27°22'32"	151.44'	S 56°20'41" W
C116	184.83'	80.00'	132°22'38"	146.38'	N 11°00'53" E
C117	76.02'	170.00'	25°37'16"	75.39'	N 58°36'58" W
C118	168.16'	150.00'	64°13'50"	159.49'	S 77°55'15" E
C119	95.75'	100.00'	54°51'44"	92.14'	N 82°36'18" W
C120	217.66'	100.00'	124°42'39"	177.17'	N 07°10'54" E
C121	114.90'	120.00'	54°51'44"	110.56'	N 82°36'18" W
C122	145.73'	130.00'	64°13'50"	138.22'	S 77°55'15" E
C123	114.56'	170.00'	38°36'35"	112.40'	N 89°16'07" E
C124	76.60'	80.00'	54°51'44"	73.71'	N 82°36'18" W
C125	159.32'	120.00'	76°04'11"	147.87'	N 17°08'20" W
C126	117.93'	120.00'	56°18'27"	113.24'	N 49°02'59" E
C127	13.38'	100.00'	7°39'58"	13.37'	N 73°22'13" E
C128	86.28'	70.00'	70°37'19"	80.92'	S 55°46'26" E
C129	137.93'	260.00'	30°23'46"	136.32'	N 75°53'13" W
C130	296.25'	240.00'	70°43'30"	277.80'	N 83°56'56" E
C131	84.14'	50.00'	96°25'19"	74.56'	N 00°22'31" E
C132	35.64'	100.00'	20°25'23"	35.46'	S 37°37'27" E
C133	25.98'	50.00'	29°46'06"	25.69'	S 12°31'42" E



- LEGEND:**
- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
  - STREET MONUMENT TO BE SET
  - EXISTING STREET MONUMENT
  - SET REBAR W/ CAP MARKED "BINGHAM ENG."
  - STREET LIGHT
  - SUBDIVISION BOUNDARY LINE
  - EXISTING LOT LINE
  - LOT LINE
  - (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
  - SECTION LINE
  - RIGHT-OF-WAY LINE
  - CENTERLINE
  - BUILDING SETBACK & BUILDING ENVELOPE

**REVIEW ONLY**



Plat Prepared By:  
**BINGHAM ENGINEERING**  
 Design: JJS  
 Drawn: JJS  
 Checked: GM  
 Reviewed: JRL  
 262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116  
 (801) 532-2520 www.binghamnet.com

Davis County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_

Filed for record and recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ in Book \_\_\_\_\_ of Official Records Page \_\_\_\_\_

County Recorder \_\_\_\_\_  
 By: \_\_\_\_\_  
 Deputy Recorder \_\_\_\_\_

Date 11/04/2020 Proj. # 4893 Sht 4 of 4

# EAGLEWOOD COVE SUBDIVISION PHASE 14

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

## NOTES

- All un-fenced property corners will be set with a 5/8" rebar and plastic cap stamped "Bingham Eng." or a rivet where the property corner is in concrete or asphalt.
- Private roadways (40' wide right-of-way) shall be covered by a blanket easement for private and public utilities. Said easement shall be created by this reference.
- Private roadways shall have an access easement across it to allow access to adjoining private parcels. Said easement shall be created by this reference.
- Private roadways shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- All front and rear public utility easements shown hereon are 10.00 feet wide unless otherwise noted. All side public utility easements are 7 feet unless otherwise noted.
- The plat coordinates shown hereon are based on the NAD83 datum. Record bearings, distances and coordinate values are shown in brackets [ ]. All other dimensions and coordinate values are measured. Bearings and distances shown in ( ) are easement dimensions.
- Approval of this development plat by North Salt Lake City does not constitute any representation as to the adequacy of subsurface soil condition or the location or depth of groundwater tables.
- Street lights on private streets within the P.U.D. shall be operated and maintained by the Eaglewood Cove Homeowners Association.
- Detention basins, along with storm drain mains, inlet boxes, and storm drain manholes located within private roadways and lots shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- Development on corner lots within this plat shall conform to the City's adopted clear vision requirements found in Section 10-1-31, City Code.
- All lots are deemed restricted lots and governed according to Title 10, Chapter 12 of the North Salt Lake City Code.
- Fire Sprinkling
  - Due to the required fire flow capacity and the fixed culinary tank size for the development (300,000 gallons), structures greater than 10,000 sq. ft. shall be required to be fire sprinkled.
- Ownership of Parcels B and C is hereby dedicated to the Eaglewood Cove Homeowners Association.
- BUILDING ENVELOPES: All homes and structures shall be contained within the building envelopes as specified on the plat. Approval of accessory structures outside the building envelope shall only be permitted on slopes less than 30% within the required setbacks for the zone. Lot grading outside of the designated building envelopes shall not be allowed to modify the natural grade for the purpose of meeting this requirement. Adjustments to the building envelope up to 10% may be approved by the Community Development Director with the advice of the City Engineer and a finding that requested modification is warranted by environmental features, site conditions, location of existing improvements, architecture or sustainability consideration, or retention of native vegetation and slope. For purposes of this restriction "accessory structures" shall not include mechanical equipment or systems necessary for the operation of permitted private recreational uses, such as ski or sledding tow rope motors and pulleys, which may be constructed in areas greater than 30% slope.
- CRITICAL SLOPE EASEMENT DESCRIPTION
  - AREA OF APPLICATION The Critical Slope Easement restrictions set forth herein shall apply to those portions of each lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%). Said portions of the lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%) shall be collectively referred to as the "Critical Slope Easement Areas". The topographical map that is required to be submitted for review by North Salt Lake City pursuant to the issuance of the building permit for each Lot shall clearly identify those areas of the respective lot that are situated outside of the building envelope that have slopes in excess of thirty percent (30%).
  - UTILITY EASEMENTS IN CRITICAL SLOPE EASEMENT AREAS There is reserved unto North Salt Lake City and any public utility company or private utility, easements within the Critical Slope Easement Areas for the installation, construction, maintenance, repair, and replacement of any utility services and utility lines which serve the Subdivision.
  - RESTRICTIONS ON USE OF CRITICAL SLOPE EASEMENT AREAS Except as set forth herein, the Critical Slope Easement Areas shall be used and occupied by the respective owners of the lots and their respective guests and invitees in accordance with the restrictions set forth hereinbelow. Such use will be restricted to foot traffic only. No paving, outbuilding, shed or temporary building of any kind shall be erected, constructed, permitted or maintained on, under, or within the Critical Slope Easement Areas. Furthermore, except as provided herein, the owner of the Lot upon which any of the Critical Slope Easement Areas are located shall not excavate, grade, fill, litter, dump or disturb the vegetation (except as is reasonably necessary when planting additional plants, shrubs, or trees) nor store materials upon, over, or across the Critical Slope Easement Areas. Soils excavated as part of the footing and foundation may be temporarily stored within the building envelope for the purpose of backfilling the foundation and the remaining soil should be removed from the site or incorporated in landscaping but and not deposited on critical slope easements. The owners of the Lots may plant additional plants, shrubs, and trees upon the Critical Slope Easement Areas including limited excavation and irrigation that is reasonably necessary to plant any such plants, shrubs, and trees. Excavation will be limited to hand digging and the use of a small trencher for irrigation purposes.
  - PRIVATE RECREATIONAL USES. The owners of the Lots may request a land use permit from the Community Development Department for construction of accessory structures or land uses outside of the building envelope for the purposes of private recreational (non-commercial) use under the following restrictions:
    - Submittal of a survey, prepared by a licensed surveyor, demonstrating the slope of the area where an accessory structure is to be placed has a slope less than 30%.
    - The property owner has demonstrated that the construction for the land use can be completed in a manner which protects and preserves the native vegetation; or minimizes disturbing vegetation and an appropriate restoration bond is submitted equal to the estimated restoration costs.
    - Construction of structures shall be limited to a maximum one structure 200 sq. ft. or less, and a maximum height of 14' to the top of roof. Accessory dwelling units and garages shall not be permitted outside the building envelope, unless they are directly adjacent to the building envelope.
    - Land use permits shall be accompanied by a letter from the HOA acknowledging their approval and conditions for the structure and land use requested.
    - Structures shall be designed and use similar materials of the main structure on the property or shall be designed to blend into the natural environment.
    - Examples of appropriate land uses outside the building envelope are: private recreational picnic areas, small pavilions, gazebos, trails, gardens and garden sheds, sports courts (200 sq. ft. or less), etc. Land uses such as private ski or sledding runs which require the use of motorized tow ropes, may only be permitted with mechanical systems that are contained entirely within an accessory structure or cabinet, and are constructed to reduce or dampen noise from the tow motor. Operation of a tow rope shall only be permitted during daytime hours. No lighting of the runs is permitted.
  - DEVELOPER The foregoing notwithstanding, said restrictions upon excavation, grading, and filling shall not apply to grading and filling performed by the developer of the Lots in accordance with an approved development grading plan.
  - MAINTENANCE The respective owners of the Lots upon which any portion of the Critical Slope Easement Areas may be located shall be responsible for maintaining that portion of the Critical Slope Easement Areas which is located on their respective lots.
  - EASEMENTS DEEMED CREATED Any and all conveyances of any lot on which any portion of the Critical Slope Easement Areas outside of the applicable Building Envelope for each lot shall be construed to grant and reserve such Critical Slope Easement Areas as provided herein even though no specific reference to such easements appears in any such conveyance.

- Native vegetation shall not be disturbed on slopes greater than 30%.
- DRIVEWAY SLOPES: All driveways shall not exceed 10% grade.
- CROSS EASEMENT ACCESSES: The following lots contain cross easement accesses including shared driveways which easement is defined and governed in the CCR's: Lots 1410 & 1411. Said easement shall provide for: (a) the design and construction of the driveway access easement area by the respective parties thereto, (b) the ongoing maintenance and repair of the driveway access easement area by the respective parties thereto; (c) snow removal from the driveway access easement area; and (d) how the costs of both maintenance & repair and snow removal of the driveway access easement area shall be allocated between the respective owners. Said easement shall be managed and enforced by the Eaglewood Cove Home Owners Association.
- RESTRICTED ACCESS AREAS: For Lots marked with restricted access shall have limited entry from those areas for property maintenance, temporary construction access, or other permitted uses only. No permanent vehicular access from those areas shall be permitted without review and approval of the city development review committee and a finding that the requested access will result in a safer access than could otherwise be approved outside the restricted access area, will result in few cuts and fills, and has been reviewed and approved by the city's geotechnical consultant.
- GEOTECH: IN ACCORDANCE WITH CITY CODE SECTION 10-12-4 ALL LOTS ARE REQUIRED TO SUBMIT WITH BUILDING PERMIT APPLICATION: "A SITE SPECIFIC GEOTECHNICAL REPORT IN ACCORDANCE WITH CHAPTER 18 OF THE INTERNATIONAL BUILDING (IBC) AND ANY ENGINEERED CONSTRUCTION PLAN WHICH HAS BEEN DESIGNED IN COMPLIANCE WITH THE RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL REPORT FOR SITE EXCAVATION, GRADING, SLOPE STABILITY, STRUCTURAL COMPONENTS, LANDSCAPING, OR ANY OTHER GEOLOGIC HAZARD MITIGATION SPECIFIED."

THE REPORT MUST CERTIFY THAT THE DESIGN OF THE CONSTRUCTION HAS BEEN DONE IN ACCORD WITH THE RECOMMENDATIONS FOR THAT SPECIFIC LOT AS CONTAINED WITHIN THE "GEOTECHNICAL & GEOLOGIC HAZARD INVESTIGATION REPORT: EAGLEWOOD COVE RESIDENTIAL DEVELOPMENT, PHASES 13-15", PREPARED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES INC. (IGES) DATED JUNE 30, 2020 AND UPDATED \_\_\_\_\_ THE REPORT MUST ADDRESS SECTION 7.0 GEOLOGIC CONCLUSIONS AND RECOMMENDATIONS, SECTION 8.0 ENGINEERING CONCLUSIONS AND RECOMMENDATIONS, AND TABLE H SPECIAL RECOMMENDATIONS BY LOT.

## OWNER'S DEDICATION AND CONSENT TO RECORD

Know by all men by these presents, that the undersigned owner of the parcel of land shown on this plat, and described hereon, have caused the parcel to be subdivided into the lots, public utility easements and private roadways as shown on this plat to be hereafter known as:

## EAGLEWOOD COVE SUBDIVISION PHASE 14

W. Scott Kjar, Manager  
Eaglewood Investment LLC

## ACKNOWLEDGMENT

State of Utah )  
County of Davis ) ss

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me, W. Scott Kjar, who being by me duly sworn, did say that he is the manager of Eaglewood Investment LLC, and that the foregoing instrument was signed on behalf of said Eaglewood Investment LLC, and said W. Scott Kjar acknowledged to me that said Eaglewood Investment LLC executed the same.

Notary Public for the State of \_\_\_\_\_

Notary Seal

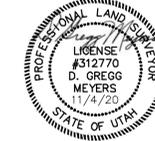
My Commission Expires \_\_\_\_\_

## SURVEYOR'S CERTIFICATE

I D. Gregg Meyers do hereby certify that I am a Professional Land Surveyor, and that I hold License Number 312770 in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act, and have completed a survey of the property described hereon in accordance with Section 17-23-17 Utah State Code, and have verified all measurements and placed monuments as represented on this plat, and have subdivided said tract of land into private roads, lots and parcels together with public utility easements hereafter to be known as Eaglewood Cove Subdivision Phase 14.

Date: 11/04/2020

D. Gregg Meyers  
D. Gregg Meyers  
P.L.S. No. 312770



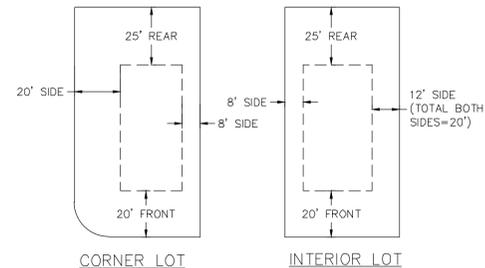
**REVIEW ONLY**

## BOUNDARY DESCRIPTION:

A parcel of land located in the Southeast Quarter of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian, North Salt Lake City, Davis County, Utah, more particularly described as follows:

Beginning at the northernmost corner of Lot 1316, Eaglewood Cove Subdivision as recorded in the office of the Davis County Recorder as Entry No. \_\_\_\_\_, said point lies North 00°08'13" West along the Section Line 1,577.80 feet and West 1,493.16 feet from the Southeast Quarter of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian (basis of bearing being North 00°08'13" West from the Southeast Quarter and East Quarter of Section 7, T1N, R1W, SLB&M), and running thence along the boundary of said Phase 13 the following fifteen (15) courses and distances: 1) South 86°06'06" West 92.15 feet, 2) North 55°06'05" West 159.15 feet, 3) South 45°02'21" West 261.24 feet, 4) North 61°11'16" West 122.63 feet, 5) northerly along the arc of a 120.00 foot radius non-tangent curve to the left, the center of which bears North 61°11'16" West, through a central angle of 47°18'33" a distance of 99.08 feet (chord bearing N 05°09'27" E, chord length 96.29'), 6) North 18°29'50" West 32.31 feet, 7) northeasterly along the arc of a 16.50 foot radius curve to the right, through a central angle of 90°00'00" a distance of 25.92 feet (chord bearing N 26°30'10" E, chord length 23.33'), 8) North 71°30'10" East 7.81 feet, 9) easterly along the arc of a 80.00 foot radius curve to the right, through a central angle of 10°57'20" a distance of 15.30 feet (chord bearing N 76°58'50" E, chord length 15.27'), 10) North 82°27'30" East 58.98 feet, 11) North 07°32'30" West 90.00 feet, 12) North 18°29'50" West 156.94 feet, 13) South 85°27'05" West 144.69 feet, 14) North 02°41'45" East 162.92 feet and 15) North 70°55'10" West 263.92 feet to the east line of Lot 1010, Eaglewood Cove Subdivision Phase 10 as recorded in said office as Entry No. 1506422; thence North 19°04'50" East along said east line 64.57 feet to the southernmost corner of Lot 1120, Eaglewood Cove Subdivision Phase 11 as recorded in said office as Entry No. 1607883; thence North 81°43'56" East along the south line of said Phase 11 1,261.42 feet to the southeast corner of Lot 1110 of said Phase 11; thence South 20°40'25" East 65.86 feet; thence South 26°08'21" West 660.00 feet; thence South 35°01'11" West 225.00 feet to the point of beginning.

Containing 625,298 Square Feet or 14.355 Acres, 13 Lots and 1 Private Street.



TYPICAL SETBACK DETAILS

### MINIMUM SETBACKS:

FRONT = 20' (TYP., EXCEPT WHERE DESIGNATED BUILDING ENVELOPE REQUIRES A GREATER SETBACK AS SHOWN)  
SIDE YARD = 8'  
TOTAL WIDTH OF TWO SIDE YARDS = 20'  
REAR YARD = 25'  
CORNER LOT REAR YARD = 20'

(8' SIDE YARDS GRAPHICALLY SHOWN)

City Council Approval	Recommended for Approval	Recommended for Approval	Recommended for Approval	Davis County Recorder
Presented to the City Council of North Salt Lake City, Utah This _____ day of _____, 2020 at which time this subdivision was approved and accepted.	This _____ day of _____, 2020.	This _____ day of _____, 2020.	This _____ day of _____, 2020.	Entry No. _____ Fee Paid _____ Filed for record and recorded this _____ day of _____, 2020 at _____ in Book _____ of Official Records Page _____
Mayor _____ Attest: City Recorder _____	City Engineer _____	Chairman, Planning Commission _____	City Attorney _____	County Recorder _____ By: _____ Deputy Recorder _____
Plat Prepared By: <b>BINGHAM ENGINEERING</b> 262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116 (801) 532-2520 www.binghamnet.com	Design: _____ Drawn: JJS Checked: GM Reviewed: JRL	Date 11/04/2020	Proj. # 4893	Sht 1 of 2

# EAGLEWOOD COVE SUBDIVISION PHASE 14

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

EAST CORNER OF SECTION 7, T.1N, R.1E., S.L.B.&M.  
N 100047.96 E 118472.95

DAVID L. BRADSHAW  
(01-038-008)

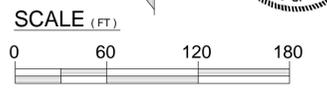
MON#	NORTHING	EASTING
1	99135.60	116660.81
2	99229.21	116747.53
3	99388.63	116756.34
4	99482.07	116841.81
5	99500.92	116971.56

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	99.08'	120.00'	47°18'33"	96.29'	N 05°09'27" E
C2	25.92'	16.50'	90°00'00"	23.33'	N 26°30'10" E
C3	15.30'	80.00'	10°57'20"	15.27'	N 76°58'50" E
C4	138.40'	100.00'	79°17'40"	127.61'	N 42°48'40" E
C5	137.13'	100.00'	78°34'06"	126.63'	S 42°26'53" W
C6	32.67'	120.00'	15°35'48"	32.56'	N 74°39'36" E
C7	133.41'	120.00'	63°41'52"	126.64'	N 35°00'46" E
C8	109.70'	80.00'	78°34'06"	101.31'	S 42°26'53" W
C9	10.73'	24.00'	25°37'38"	10.65'	N 85°27'15" W
C10	12.15'	24.00'	28°59'47"	12.02'	N 88°08'33" W
C11	69.23'	52.00'	76°16'38"	64.23'	S 81°46'58" E
C12	50.00'	52.00'	55°05'32"	48.10'	N 32°31'57" E
C13	58.05'	52.00'	63°57'51"	55.08'	N 26°59'44" W
C14	65.02'	52.00'	71°38'31"	60.87'	S 85°12'05" W
C15	20.21'	52.00'	22°16'18"	20.09'	S 38°14'40" W
C16	22.88'	24.00'	54°37'24"	22.02'	N 64°25'14" E
C17	3.16'	120.00'	1°30'38"	3.16'	S 80°58'37" W
C18	75.54'	120.00'	36°04'12"	74.30'	S 62°11'12" W
C19	25.18'	120.00'	12°01'29"	25.14'	S 38°08'22" W
C20	25.18'	120.00'	12°01'29"	25.14'	S 26°06'53" W
C21	35.48'	120.00'	16°56'19"	35.35'	S 11°37'59" W
C22	110.72'	80.00'	79°17'40"	102.09'	N 42°48'40" E
C23	19.12'	100.00'	10°57'20"	19.09'	S 76°58'50" W

### LEGEND:

- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- STREET LIGHT
- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- LOT LINE
- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE

**REVIEW ONLY**



Davis County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_

Filed for record and recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ in Book \_\_\_\_\_ of Official Records Page \_\_\_\_\_

County Recorder \_\_\_\_\_  
By: \_\_\_\_\_  
Deputy Recorder \_\_\_\_\_

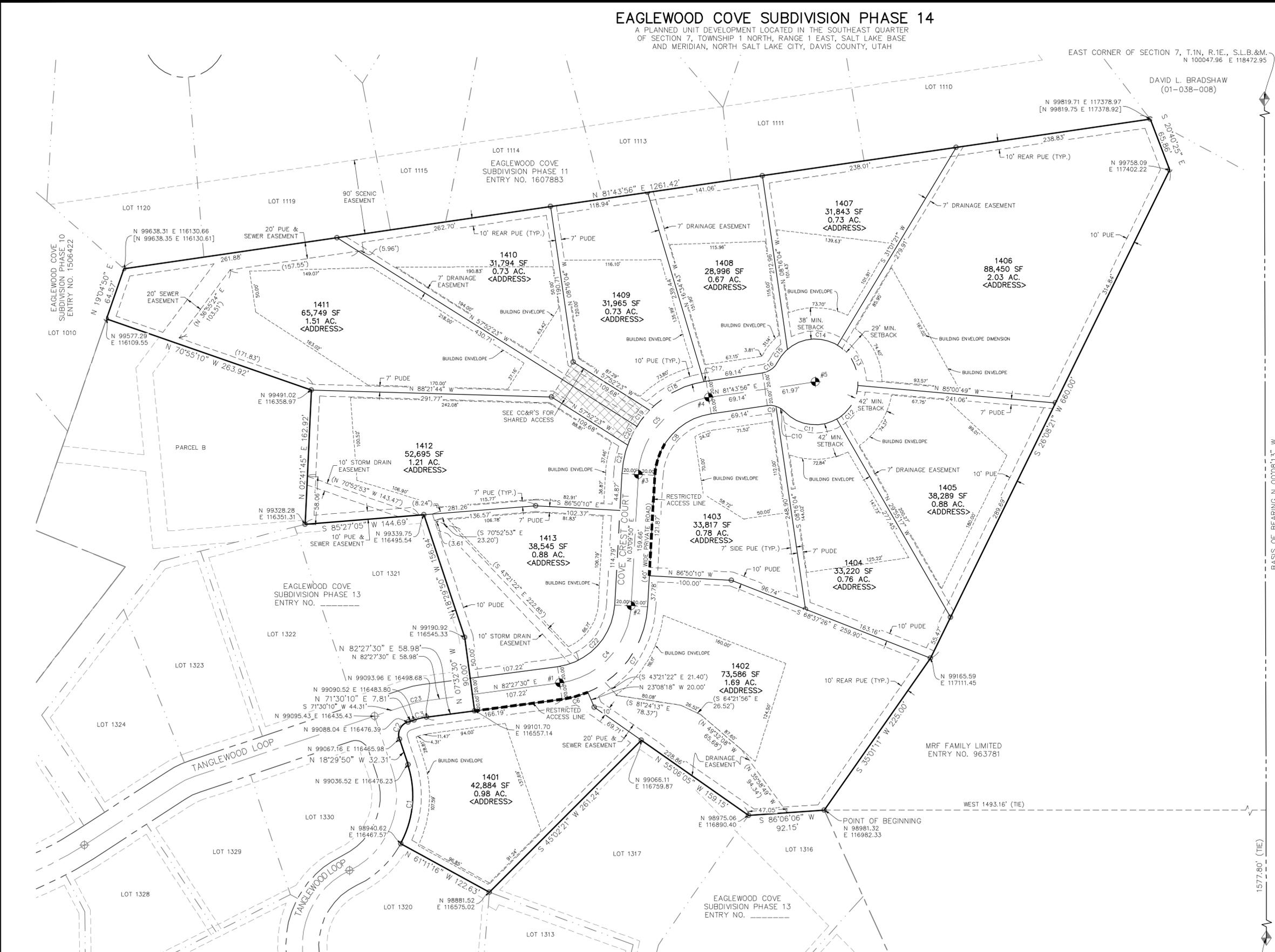
Date 11/04/2020 Proj. # 4893 Sht 2 of 2

Plat Prepared By:

**BINGHAM ENGINEERING**  
262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116  
(801) 532-2520 www.binghamnet.com

Design: \_\_\_\_\_  
Drawn: JJS  
Checked: GM  
Reviewed: JRL

SOUTHEAST CORNER SECTION 34  
TOWNSHIP 2 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
FOUND DAVIS COUNTY MONUMENT  
N 97403.53 E 118479.27



# EAGLEWOOD COVE SUBDIVISION PHASE 15

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

## NOTES

- All un-fenced property corners will be set with a 5/8" rebar and plastic cap stamped "Bingham Eng." or a rivet where the property corner is in concrete or asphalt.
- Private roadways (40' wide right-of-way) shall be covered by a blanket easement for private and public utilities. Said easement shall be created by this reference.
- Private roadways shall have an access easement across it to allow access to adjoining private parcels. Said easement shall be created by this reference.
- Private roadways shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- All front and rear public utility easements shown hereon are 10.00 feet wide unless otherwise noted. All side public utility easements are 7 feet unless otherwise noted.
- The plat coordinates shown hereon are based on the NAD83 datum. Record bearings, distances and coordinate values are shown in brackets [ ]. All other dimensions and coordinate values are measured. Bearings and distances shown in ( ) are easement dimensions.
- Approval of this development plat by North Salt Lake City does not constitute any representation as to the adequacy of subsurface soil condition or the location or depth of groundwater tables.
- Street lights on private streets within the P.U.D. shall be operated and maintained by the Eaglewood Cove Homeowners Association.
- Detention basins, along with storm drain mains, inlet boxes, and storm drain manholes located within private roadways and lots shall be owned and maintained by the Eaglewood Cove Homeowners Association.
- Development on corner lots within this plat shall conform to the City's adopted clear vision requirements found in Section 10-1-31, City Code.
- All lots are deemed restricted lots and governed according to Title 10, Chapter 12 of the North Salt Lake City Code.
- Fire Sprinkling
  - Due to the required fire flow capacity and the fixed culinary tank size for the development (300,000 gallons), structures greater than 10,000 sq. ft. shall be required to be fire sprinkled.
- Ownership of Parcels B and C is hereby dedicated to the Eaglewood Cove Homeowners Association.
- BUILDING ENVELOPES: All homes and structures shall be contained within the building envelopes as specified on the plat. Approval of accessory structures outside the building envelope shall only be permitted on slopes less than 30% within the required setbacks for the zone. Lot grading outside of the designated building envelopes shall not be allowed to modify the natural grade for the purpose of meeting this requirement. Adjustments to the building envelope up to 10% may be approved by the Community Development Director with the advice of the City Engineer and a finding that requested modification is warranted by environmental features, site conditions, location of existing improvements, architecture or sustainability consideration, or retention of native vegetation and slope. For purposes of this restriction "accessory structures" shall not include mechanical equipment or systems necessary for the operation of permitted private recreational uses, such as ski or sledding tow rope motors and pulleys, which may be constructed in areas greater than 30% slope.

## 15.) CRITICAL SLOPE EASEMENT DESCRIPTION

- AREA OF APPLICATION** The Critical Slope Easement restrictions set forth herein shall apply to those portions of each lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%). Said portions of the lot that are situated outside of the building envelope shall be collectively referred to as the "Critical Slope Easement Areas". The topographical map that is required to be submitted for review by North Salt Lake City pursuant to the issuance of the building permit for each Lot shall clearly identify those areas of the respective lot that are situated outside of the building envelope that have slopes in excess of thirty percent (30%).
- UTILITY EASEMENTS IN CRITICAL SLOPE EASEMENT AREAS** There is reserved unto North Salt Lake City and any public utility company or private utility, easements within the Critical Slope Easement Areas for the installation, construction, maintenance, repair, and replacement of any utility services and utility lines which serve the Subdivision.
- RESTRICTIONS ON USE OF CRITICAL SLOPE EASEMENT AREAS** Except as set forth herein, the Critical Slope Easement Areas shall be used and occupied by the respective owners of the lots and their respective guests and invitees in accordance with the restrictions set forth hereinbelow. Such use will be restricted to foot traffic only. No paving, outbuilding, shed or temporary building of any kind shall be erected, constructed, permitted or maintained on, under, or within the Critical Slope Easement Areas. Furthermore, except as provided herein, the owner of the Lot upon which any of the Critical Slope Easement Areas are located shall not excavate, grade, fill, litter, dump or disturb the vegetation (except as is reasonably necessary when planting additional plants, shrubs, or trees) nor store materials upon, over, or across the Critical Slope Easement Areas. Soils excavated as part of the footing and foundation may be temporarily stored within the building envelope for the purpose of backfilling the foundation and the remaining soil should be removed from the site or incorporated in landscaping but and not deposited on critical slope easements. The owners of the Lots may plant additional plants, shrubs, and trees upon the Critical Slope Easement Areas including limited excavation and irrigation that is reasonably necessary to plant any such plants, shrubs, and trees. Excavation will be limited to hand digging and the use of a small trencher for irrigation purposes.
- PRIVATE RECREATIONAL USES.** The owners of the Lots may request a land use permit from the Community Development Department for construction of accessory structures or land uses outside of the building envelope for the purposes of private recreational (non-commercial) use under the following restrictions:
  - Submittal of a survey, prepared by a licensed surveyor, demonstrating the slope of the area where an accessory structure is to be placed has a slope less than 30%.
  - The property owner has demonstrated that the construction for the land use can be completed in a manner which protects and preserves the native vegetation; or minimizes disturbing vegetation and an appropriate restoration bond is submitted equal to the estimated restoration costs.
  - Construction of structures shall be limited to a maximum one structure 200 sq. ft. or less, and a maximum height of 14' to the top of roof. Accessory dwelling units and garages shall not be permitted outside the building envelope, unless they are directly adjacent to the building envelope.
  - Land use permits shall be accompanied by a letter from the HOA acknowledging their approval and conditions for the structure and land use requested.
  - Structures shall be designed and use similar materials of the main structure on the property or shall be designed to blend into the natural environment.
  - Examples of appropriate land uses outside the building envelope are: private recreational picnic areas, small pavilions, gazebos, trails, gardens and garden sheds, sports courts (200 sq. ft. or less), etc. Land uses such as private ski or sledding runs which require the use of motorized tow ropes, may only be permitted with mechanical systems that are contained entirely within an accessory structure or cabinet, and are constructed to reduce or dampen noise from the tow motor. Operation of a tow rope shall only be permitted during daytime hours. No lighting of the runs is permitted.
- DEVELOPER** The foregoing notwithstanding, said restrictions upon excavation, grading, and filling shall not apply to grading and filling performed by the developer of the Lots in accordance with an approved development grading plan.
- MAINTENANCE** The respective owners of the Lots upon which any portion of the Critical Slope Easement Areas may be located shall be responsible for maintaining that portion of the Critical Slope Easement Areas which is located on their respective lots.
- EASEMENTS DEEMED CREATED** Any and all conveyances of any lot on which any portion of the Critical Slope Easement Areas outside of the applicable Building Envelope for each lot shall be construed to grant and reserve such Critical Slope Easement Areas as provided herein even though no specific reference to such easements appears in any such conveyance.

- Native vegetation shall not be disturbed on slopes greater than 30%.
- DRIVEWAY SLOPES: All driveways shall not exceed 10% grade.

- CROSS EASEMENT ACCESSES:** The following lots contain cross easement accesses including shared driveways which easement is defined and governed in the CC&R's: Lots 1503 & 1504 and Lots 1505 & 1506. Said easement shall provide for: (a) the design and construction of the driveway access easement area by the respective parties thereto; (b) the ongoing maintenance and repair of the driveway access easement area by the respective parties thereto; (c) snow removal from the driveway access easement area; and (d) how the costs of both maintenance & repair and snow removal of the driveway access easement area shall be allocated between the respective owners. Said easement shall be managed and enforced by the Eaglewood Cove Home Owners Association.

- RESTRICTED ACCESS AREAS:** For Lots marked with restricted access shall have limited entry from those areas for property maintenance, temporary construction access, or other permitted uses only. No permanent vehicular access from those areas shall be permitted without review and approval of the city development review committee and a finding that the requested access will result in a safer access than could otherwise be approved outside the restricted access area, will result in few cuts and fills, and has been reviewed and approved by the city's geotechnical consultant.

- GEOTECH:** IN ACCORDANCE WITH CITY CODE SECTION 10-12-4 ALL LOTS ARE REQUIRED TO SUBMIT WITH BUILDING PERMIT APPLICATION: "A SITE SPECIFIC GEOTECHNICAL REPORT IN ACCORDANCE WITH CHAPTER 18 OF THE INTERNATIONAL BUILDING (IBC) AND ANY ENGINEERED CONSTRUCTION PLAN WHICH HAS BEEN DESIGNED IN COMPLIANCE WITH THE RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL REPORT FOR SITE EXCAVATION, GRADING, SLOPE STABILITY, STRUCTURAL COMPONENTS, LANDSCAPING, OR ANY OTHER GEOLOGIC HAZARD MITIGATION SPECIFIED."

THE REPORT MUST CERTIFY THAT THE DESIGN OF THE CONSTRUCTION HAS BEEN DONE IN ACCORD WITH THE RECOMMENDATIONS FOR THAT SPECIFIC LOT AS CONTAINED WITHIN THE "GEOTECHNICAL & GEOLOGIC HAZARD INVESTIGATION REPORT: EAGLEWOOD COVE RESIDENTIAL DEVELOPMENT, PHASES 13-15", PREPARED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES INC. (IGES) DATED JUNE 30, 2020 AND UPDATED \_\_\_\_\_ THE REPORT MUST ADDRESS SECTION 7.0 GEOLOGIC CONCLUSIONS AND RECOMMENDATIONS, SECTION 8.0 ENGINEERING CONCLUSIONS AND RECOMMENDATIONS, AND TABLE H SPECIAL RECOMMENDATIONS BY LOT.

## OWNER'S DEDICATION AND CONSENT TO RECORD

Know by all men by these presents, that the undersigned owner of the parcel of land shown on this plat, and described hereon, have caused the parcel to be subdivided into the lots, public utility easements and private roadways as shown on this plat to be hereafter known as:

## EAGLEWOOD COVE SUBDIVISION PHASE 15

W. Scott Kjar, Manager  
Eaglewood Investment LLC

## ACKNOWLEDGMENT

State of Utah )  
County of Davis ) ss

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me, W. Scott Kjar, who being by me duly sworn, did say that he is the manager of Eaglewood Investment LLC, and that the foregoing instrument was signed on behalf of said Eaglewood Investment LLC, and said W. Scott Kjar acknowledged to me that said Eaglewood Investment LLC executed the same.

Notary Public for the State of \_\_\_\_\_

Notary Seal

My Commission Expires \_\_\_\_\_

## SURVEYOR'S CERTIFICATE

I D. Gregg Meyers do hereby certify that I am a Professional Land Surveyor, and that I hold License Number 312770 in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act, and have completed a survey of the property described hereon in accordance with Section 17-23-17 Utah State Code, and have verified all measurements and placed monuments as represented on this plat, and have subdivided said tract of land into private roads, lots and parcels together with public utility easements hereafter to be known as Eaglewood Cove Subdivision Phase 14.

Date: 11/04/2020

D. Gregg Meyers  
D. Gregg Meyers  
P.L.S. No. 312770



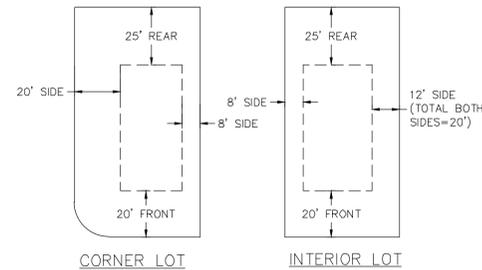
**REVIEW ONLY**

## BOUNDARY DESCRIPTION:

A parcel of land located in the Southeast Quarter of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian, North Salt Lake City, Davis County, Utah, more particularly described as follows:

Beginning at the southeast corner of Lot 1302, Eaglewood Cove Subdivision Phase 13 as recorded in the office of the Davis County Recorder as Entry No. \_\_\_\_\_, said point lies South 89°56'22" West along the Section Line 2,156.02 feet from the Southeast Quarter of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian (basis of bearing being North 00°08'13" West from the Southeast Quarter and East Quarter of Section 7, T1N, R1W, SLB&M), and running thence along the boundary of said Phase 13 the following thirty-one (31) courses and distances: 1) North 11°28'37" East 337.03 feet, 2) North 83°13'27" East 352.63 feet, 3) North 01°07'46" West 276.08 feet, 4) North 61°38'46" West 198.95 feet, 5) North 25°00'00" East 19.62 feet, 6) North 70°00'00" East 31.03 feet, 7) northeasterly along the arc of a 60.00 foot radius non-tangent curve to the left, the center of which bears North 20°02'00" West, through a central angle of 89°52'43" a distance of 94.12 feet (chord bearing N 25°01'38" E, chord length 84.76'), 8) North 19°48'43" West 23.53 feet, 9) northwesterly along the arc of a 65.00 foot radius curve to the left, through a central angle of 30°53'16" a distance of 35.04 feet (chord bearing N 35°15'21" W, chord length 35.04'), 10) North 37°58'31" West 141.74 feet, 11) North 86°24'20" West 90.96 feet, 12) North 69.36 feet, 13) North 19°30'17" West 50.00 feet, 14) northeasterly along the arc of a 120.00 foot radius non-tangent curve to the left, the center of which bears North 19°30'17" West, through a central angle of 26°53'10" a distance of 35.04 feet (chord bearing N 57°03'08" E, chord length 34.62'), 15) northeasterly along the arc of a 300.00 foot radius curve to the right, through a central angle of 43°41'01" a distance of 228.73 feet (chord bearing N 65°27'04" E, chord length 223.23'), 16) southeasterly along the arc of a 16.50 foot radius curve to the right, through a central angle of 109°46'14" a distance of 31.61 feet (chord bearing S 37°49'18" E, chord length 26.99'), 17) South 72°56'11" East 40.00 feet, 18) North 17°03'49" East 15.79 feet, 19) northeasterly along the arc of a 16.50 foot radius curve to the right, through a central angle of 85°22'04" a distance of 24.58 feet (chord bearing N 59°44'51" E, chord length 22.37'), 20) southeasterly along the arc of a 300.00 foot radius curve to the right, through a central angle of 31°45'47" a distance of 166.31 feet (chord bearing S 61°41'14" E, chord length 164.19'), 21) South 45°48'20" East 184.47 feet, 22) southeasterly along the arc of a 170.00 foot radius curve to the left, through a central angle of 25°37'16" a distance of 76.02 feet (chord bearing S 58°36'58" E, chord length 75.39'), 23) South 18°34'24" West 102.09 feet, 24) South 38°12'11" East 228.92 feet, 25) North 39°38'51" East 96.06 feet, 26) South 78°05'59" East 183.56 feet, 27) North 34°49'34" East 96.93 feet, 28) South 55°10'26" East 297.07 feet, 29) southerly along the arc of an 80.00 foot radius curve to the right, through a central angle of 132°22'38" a distance of 184.83 feet (chord bearing S 11°00'53" W, chord length 146.38'), 30) South 12°47'48" East 100.31 feet and 31) South 40°30'18" East 245.94 feet; thence South 42°49'04" West 330.00 feet to said South Section Line; thence South 89°56'22" West along said South Section Line 1,336.02 feet to the point of beginning.

Containing 1,160,300 Square Feet or 26.637 Acres, 20 Lots and 2 Private Streets.



TYPICAL SETBACK DETAILS

## MINIMUM SETBACKS:

FRONT = 20' (TYP., EXCEPT WHERE DESIGNATED BUILDING ENVELOPE REQUIRES A GREATER SETBACK AS SHOWN)  
SIDE YARD = 8'  
TOTAL WIDTH OF TWO SIDE YARDS = 20'  
REAR YARD = 25'  
CORNER LOT REAR YARD = 20'

(8' SIDE YARDS GRAPHICALLY SHOWN)

City Council Approval	Recommended for Approval	Recommended for Approval	Recommended for Approval	Davis County Recorder
Presented to the City Council of North Salt Lake City, Utah This _____ day of _____, 2020 at which time this subdivision was approved and accepted.	This _____ day of _____, 2020.	This _____ day of _____, 2020.	This _____ day of _____, 2020.	Entry No. _____ Fee Paid _____ Filed for record and recorded this _____ day of _____, 2020 at _____ in Book _____ of Official Records Page _____
Plat Prepared By: <b>BINGHAM ENGINEERING</b> 262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116 (801) 532-2520 www.binghamnet.com	Mayor _____ Attest: City Recorder _____	City Engineer _____	Chairman, Planning Commission _____	County Recorder _____ By: _____ Deputy Recorder _____
Design: _____ Drawn: JJS Checked: GM Reviewed: JRL				Date 11/04/2020 Proj. # 4893 Sht 1 of 3

# EAGLEWOOD COVE SUBDIVISION PHASE 15

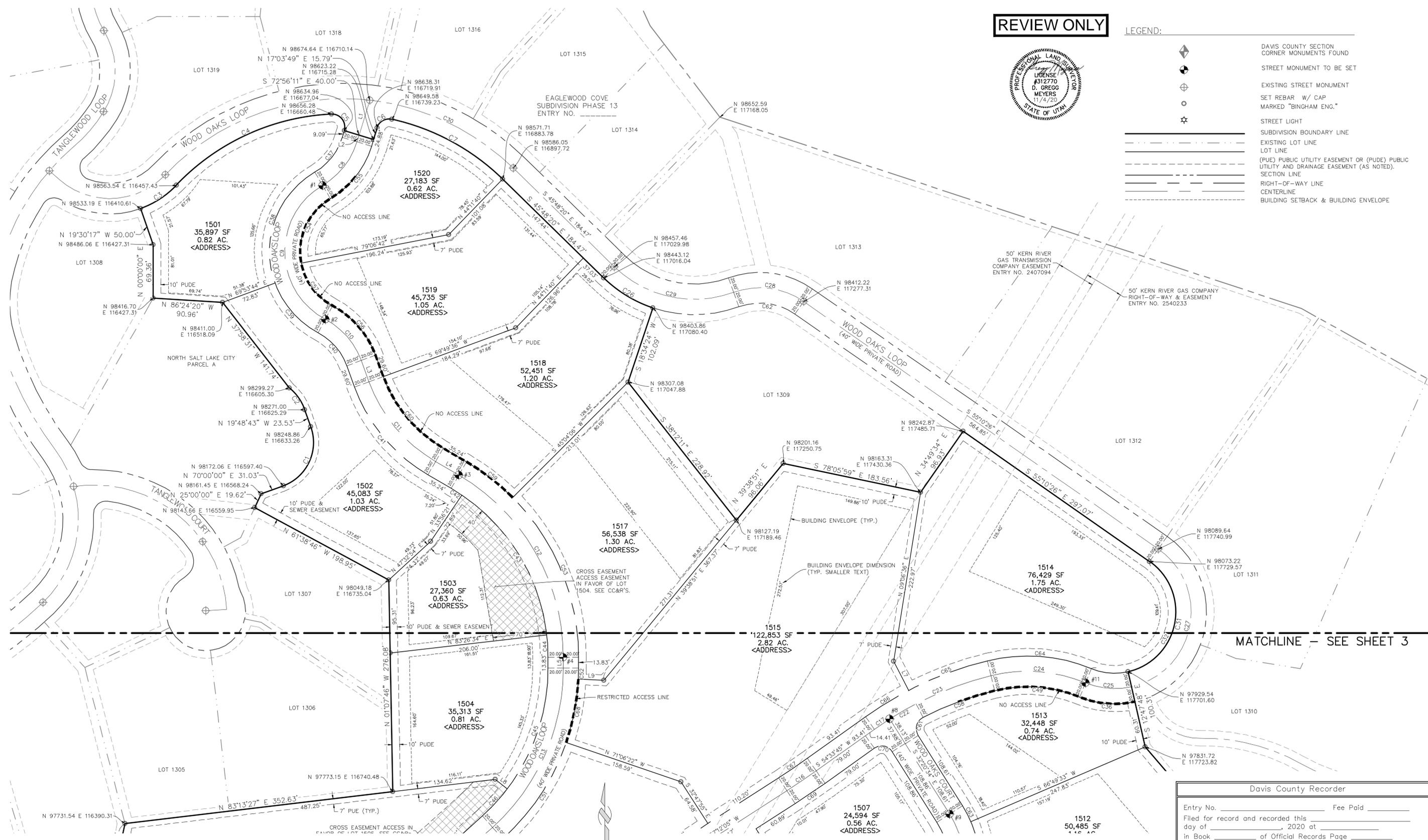
A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

**REVIEW ONLY**



LEGEND:

- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- STREET LIGHT
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- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE



MATCHLINE - SEE SHEET 3



Plat Prepared By:  
**BINGHAM ENGINEERING**  
 Design: JJS  
 Drawn: JJS  
 Checked: GM  
 Reviewed: JRL  
 262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116  
 (801) 532-2520 www.binghamnet.com

Davis County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_

Filed for record and recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ in Book \_\_\_\_\_ of Official Records Page \_\_\_\_\_

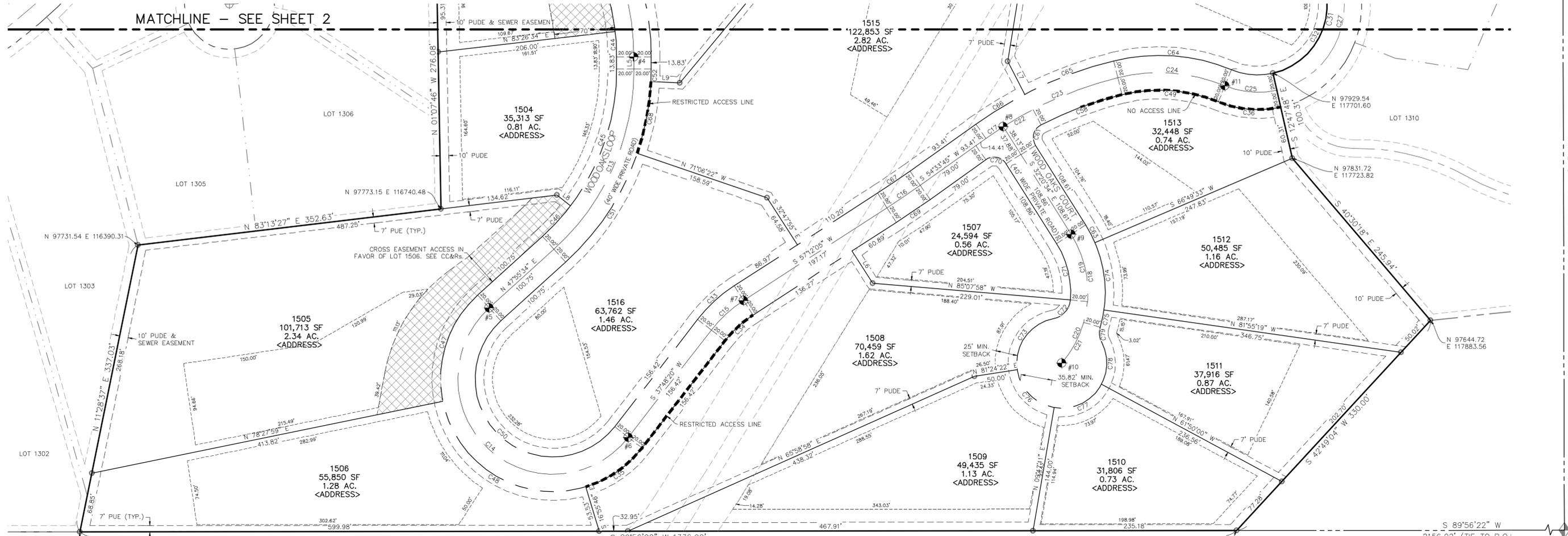
County Recorder \_\_\_\_\_  
 By: \_\_\_\_\_  
 Deputy Recorder \_\_\_\_\_

Date 11/04/2020 Proj. # 4893 Sht 2 of 3

# EAGLEWOOD COVE SUBDIVISION PHASE 15

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

EAST CORNER OF SECTION 7, T.1N, R.1E., S.L.B.&M.  
N 100047.96 E 118472.95



POINT OF BEGINNING  
N 94701.25 E 116323.25

SOUTHEAST CORNER SECTION 34  
TOWNSHIP 2 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
FOUND DAVIS COUNTY MONUMENT  
N 97403.53 E 118479.27

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	94.12'	60.00'	89°52'43"	84.76'	N 25°01'38" E
C2	35.04'	65.00'	30°53'16"	34.62'	N 35°15'21" W
C3	56.31'	120.00'	26°53'10"	55.79'	N 57°03'08" E
C4	228.73'	300.00'	43°41'01"	223.23'	N 65°27'04" E
C5	31.61'	16.50'	109°46'14"	26.99'	S 37°49'18" E
C6	24.58'	16.50'	85°22'04"	22.37'	N 59°44'51" E
C7	166.31'	300.00'	31°45'47"	164.19'	S 61°41'14" E
C8	74.20'	100.00'	42°30'44"	72.51'	N 38°19'11" E
C9	212.12'	100.00'	121°32'17"	174.53'	S 01°11'35" E
C10	72.94'	100.00'	41°47'20"	71.33'	N 41°04'04" W
C11	138.21'	200.00'	39°35'35"	135.47'	S 39°58'11" E
C12	286.86'	275.00'	59°46'01"	274.03'	N 29°52'58" W
C13	234.21'	280.00'	47°55'31"	227.44'	N 23°57'48" E
C14	365.01'	110.00'	190°07'14"	219.14'	S 47°08'03" E
C15	50.78'	150.00'	19°23'44"	50.54'	S 47°30'12" W
C16	46.06'	1000.00'	2°38'20"	46.05'	N 55°52'55" E
C17	24.09'	446.00'	3°05'41"	24.09'	S 56°06'35" W
C18	105.73'	125.00'	48°27'39"	102.60'	N 08°06'45" W
C19	81.18'	125.00'	37°12'36"	79.76'	N 13°44'16" W
C20	78.25'	125.00'	35°52'04"	76.98'	N 22°48'04" E
C21	53.71'	125.00'	24°37'01"	53.29'	N 28°25'35" E
C22	39.81'	446.00'	5°06'49"	39.79'	S 60°12'50" W
C23	144.50'	446.00'	18°33'48"	143.87'	S 66°56'20" W
C24	126.12'	200.00'	36°07'48"	124.04'	N 85°42'53" W
C25	61.34'	100.00'	35°08'49"	60.39'	S 85°13'23" E
C26	76.02'	170.00'	25°37'16"	75.39'	S 58°36'58" E
C27	231.04'	100.00'	132°22'38"	182.98'	N 11°00'53" E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C28	95.75'	100.00'	54°51'44"	92.14'	N 82°36'18" W
C29	168.16'	150.00'	64°13'50"	159.49'	S 77°55'15" E
C30	211.27'	320.00'	37°49'39"	207.45'	N 64°43'10" W
C31	184.83'	80.00'	132°22'38"	146.38'	S 11°00'53" W
C32	233.91'	80.00'	167°31'27"	159.05'	N 28°35'18" E
C33	57.55'	170.00'	19°23'44"	57.27'	S 47°30'12" W
C34	44.01'	130.00'	19°23'44"	43.80'	S 47°30'12" W
C35	80.01'	130.00'	35°15'54"	78.76'	N 55°26'17" E
C36	73.61'	120.00'	35°08'49"	72.46'	S 85°13'23" E
C37	59.36'	80.00'	42°30'44"	58.01'	N 38°19'11" E
C38	166.88'	120.00'	79°40'49"	153.76'	S 19°44'08" W
C39	87.67'	120.00'	41°51'28"	85.73'	S 41°02'00" E
C40	58.35'	80.00'	41°47'20"	57.06'	N 41°04'04" W
C41	152.03'	220.00'	39°35'35"	149.02'	S 39°58'11" E
C42	16.49'	255.00'	3°42'20"	16.49'	N 57°54'49" W
C43	220.32'	255.00'	49°30'13"	213.53'	N 31°18'32" W
C44	29.19'	255.00'	6°33'29"	29.17'	N 03°16'42" W
C45	169.25'	260.00'	37°17'48"	166.27'	N 18°38'57" E
C46	48.23'	260.00'	10°37'43"	48.16'	N 42°36'42" E
C47	134.91'	130.00'	59°27'35"	128.94'	S 18°11'46" W
C48	216.45'	130.00'	95°23'45"	192.30'	S 59°13'53" E
C49	113.51'	180.00'	36°07'48"	111.63'	N 85°42'53" W
C50	298.64'	90.00'	190°07'14"	179.30'	S 47°08'03" E
C51	152.01'	300.00'	29°01'56"	150.39'	N 33°24'36" E
C52	14.55'	300.00'	2°46'43"	14.55'	N 01°23'24" E
C53	231.34'	295.00'	44°55'56"	225.46'	N 22°27'55" W
C54	98.39'	80.00'	70°27'51"	92.30'	S 24°20'37" W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C55	89.04'	120.00'	42°30'44"	87.01'	N 38°19'11" E
C56	87.52'	120.00'	41°47'20"	85.60'	N 41°04'04" W
C57	71.31'	80.00'	51°04'25"	68.97'	S 36°25'31" E
C58	100.00'	426.00'	13°26'58"	99.77'	S 69°29'44" W
C59	76.38'	295.00'	14°50'05"	76.17'	N 52°20'56" W
C60	124.39'	180.00'	39°35'35"	121.93'	S 39°58'11" E
C61	27.39'	16.50'	95°06'49"	24.35'	S 15°12'50" W
C62	76.60'	80.00'	54°51'44"	73.71'	N 82°36'18" W
C63	23.20'	145.00'	9°10'07"	23.18'	N 27°45'31" W
C64	138.73'	220.00'	36°07'48"	136.44'	N 85°42'53" W
C65	110.01'	466.00'	13°31'33"	109.75'	S 69°27'27" W
C66	66.14'	466.00'	8°07'58"	66.08'	S 58°37'43" W
C67	45.13'	980.00'	2°38'20"	45.13'	N 55°52'55" E
C68	84.37'	300.00'	16°06'52"	84.10'	N 10°50'12" E
C69	46.98'	1020.00'	2°38'20"	46.97'	N 55°52'55" E
C70	26.81'	16.50'	93°05'41"	23.96'	N 78°53'25" W
C71	68.19'	105.00'	37°12'36"	67.00'	N 13°44'16" W
C72	31.21'	24.00'	74°30'39"	29.06'	N 42°07'21" E
C73	79.84'	52.00'	87°58'18"	72.23'	S 35°23'32" W
C74	79.09'	145.00'	31°15'08"	78.11'	N 07°32'53" W
C75	20.35'	145.00'	8°02'24"	20.33'	N 12°05'53" E
C76	65.00'	52.00'	71°37'11"	60.85'	S 44°24'13" E
C77	65.00'	52.00'	71°37'11"	60.85'	N 63°58'36" E
C78	50.18'	52.00'	55°17'37"	48.26'	N 00°31'12" E
C79	18.11'	24.00'	43°14'41"	17.89'	S 05°30'16" E

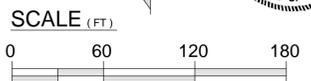
Line Table		
Line #	Direction	Length
L1	N 17°03'49" E	47.65'
L2	N 17°03'49" E	9.09'
L3	N 20°10'24" W	29.60'
L4	N 59°45'59" W	35.24'
L5	N 00°00'03" E	13.83'
L6	N 32°47'55" W	44.14'
L7	S 27°18'20" E	42.66'
L8	S 52°42'09" E	20.00'
L9	N 87°13'14" W	33.50'

Street Monument Table		
MON#	NORTHING	EASTING
1	98563.51	116648.53
2	98389.02	116652.17
3	98185.89	116826.71
4	97948.29	116963.24
5	97659.11	116796.07
6	97510.03	116956.69
7	97667.75	117089.84
8	97867.98	117389.80
9	97744.01	117468.30
10	97595.56	117457.41
11	97915.06	117645.86

**LEGEND:**

- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- STREET LIGHT
- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- LOT LINE
- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE

**REVIEW ONLY**



Plat Prepared By:

**BINGHAM ENGINEERING**  
262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116  
(801) 532-2520 www.binghamnet.com

Design: JJS  
Drawn: JJS  
Checked: GM  
Reviewed: JRL

Davis County Recorder

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_

Filed for record and recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ in Book \_\_\_\_\_ of Official Records Page \_\_\_\_\_

County Recorder \_\_\_\_\_  
By: \_\_\_\_\_  
Deputy Recorder \_\_\_\_\_

Date 11/04/2020 Proj. # 4893 Sht 3 of 3

1 CITY OF NORTH SALT LAKE  
2 PLANNING COMMISSION MEETING  
3 OCTOBER 27, 2020  
4

5 **DRAFT**  
6

7 This meeting was held electronically via 3CX. The host site was located at 10 East Center Street  
8 in North Salt Lake.  
9

10 Commission Chair Ted Knowlton called the meeting to order at 6:30 p.m. and Vera and Nyla  
11 Van Langeveld, Troop 914 led those present in the Pledge of Allegiance.  
12

13 PRESENT: Commission Chair Ted Knowlton  
14 Commissioner Stephen Garn  
15 Commissioner Kent Kirkham  
16 Commissioner William Ward  
17 Commissioner Brandon Tucker  
18 Commissioner BreAnna Larson  
19 Commissioner Alisa Van Langeveld  
20

21 STAFF PRESENT: Sherrie Llewelyn, Community Development Director; Mackenzie Bennett,  
22 Planning Technician; Andrea Bradford, Minutes Secretary.  
23

24 OTHERS PRESENT: Dee Lalliss, resident; Vera Van Langeveld, Nyla Van Langeveld, Girl  
25 Scout Troop 914; Robin Evans, Charles Evans, Evans Automotive.  
26

27 1. PROCLAMATION BY PLANNING COMMISSION CHAIR REGARDING  
28 ELECTRONIC MEETING  
29

30 Chair Knowlton read the following proclamation “Whereas, the Planning Commission Chair has  
31 determined that conducting public meetings of the Planning Commission with an anchor location  
32 where the public could attend in person, presents a substantial risk to the health and safety of  
33 those who may be present at that location based upon the current Covid-19 pandemic and the  
34 limited staff support to properly ensure physical distancing and sufficient disinfection for  
35 attendees and staff. Now, therefore, be it resolved, that the Planning Commission shall hold  
36 meetings for the month of October 2020 by electronic means only, and will not include an  
37 anchor location where the public could attend in person.”

38           2. PUBLIC COMMENTS

39

40    There were no public comments.

41

42           3. CONSIDERATION OF A CONDITIONAL USE PERMIT AND SITE PLAN  
43            AMENDMENT FOR EVANS AUTOMOTIVE AT 35 NORTH 700 WEST, ROBIN  
44            EVANS, APPLICANT

45

46    Sherrie Llewelyn reported that the property located at 35 North 700 West was the former  
47    location of Schneider Trucking. This site would be the new location of Evans Automotive, who  
48    was relocating from 905 Main Street, which does general automotive repair. General Automotive  
49    Repair is listed as a conditional use in the General Commercial Zoning District.

50

51    Evans Automotive employs four technicians, one service writer, and three support staff with  
52    expected growth of three additional employees. Based upon their current operations on Main  
53    Street, Evans has approximately 20 vehicles onsite for repair at any given time. As part of the  
54    recent approvals for Maverik this site was excluded from the site plan amendment. Per the City  
55    Council and Planning Commission, a plat amendment provided conditions that required a site  
56    plan review and an update to current standards when a new use was established on the property.

57

58    Ms. Llewelyn spoke on the proposed improvements to the property. She showed two proposed  
59    renderings of the building, which included painting the building white with red trim and updating  
60    the signage. Other changes to the property included replacing the existing chain-link fencing on  
61    Center Street and 700 West with decorative metal fencing, improvements to the landscaping  
62    along Center Street (similar to the Maverik landscaping improvements), and paving the customer  
63    parking and the service bay areas.

64

65    Identified corrections include choosing a street tree species on the approved species list, adding a  
66    parking island at the end of the parking row with a tree,, and placing the parking stalls along the  
67    east property line rather than adjacent to the building to provide better access and allow for  
68    additional parking space.

69    The parking requirements for the business would be seven spaces for the general office use, two  
70    spaces for the retail floor area, and twelve spaces for the repair bays for a total of twenty one (21)  
71    spaces. Ms. Llewelyn explained that the parking for the repair bays could be tandem to store the  
72    vehicles. She said the gravel area could be used for vehicle storage.

73

74    This conditional use permit is subject to the requirements of the City's Land Use Ordinance (10-  
75    7-1-4), requiring that every Conditional Use Permit shall expire by limitation and become null  
76    and void if the work authorized by such permit has not commenced within one (1) year, or is not  
77    completed within two (2) years from date of issue. The Development Review Committee (DRC)  
78    made a favorable recommendation with the two conditions of planning redline corrections  
79    including verifying clear view areas to driveways and intersections, the addition of a parking

80 island with trees, the relocation of parking spaces for better access, additional parking spaces,  
81 modify proposed streets trees to approved species and increase the number of trees, removal of  
82 existing trees in clear view areas, trimming the tree blocking the stop sign on 700 west,  
83 correction of typical asphalt paving cross section, amending the drainage flow per note, dustless  
84 gravel surfaces, and the submittal of hydrology calculations.

85  
86 Charles Evans, Evans Automotive, said they had no issue moving the parking as requested per  
87 the DRC.

88  
89 Robin Evans, Evans Automotive, commented that her only concern was the location of the  
90 handicap parking. She said they had many elderly clients who liked to park right in front of the  
91 building so they would have to find a way to continue to accommodate these customers with the  
92 relocation of the parking stalls. Mrs. Evans also said the tree that was obstructing the view of the  
93 building would be removed and several other trees would be removed.

94  
95 Mr. and Mrs Evans asked if they could install grasses or other planting from the approved list  
96 along Center Street instead of the proposed three trees, as they would be located under power  
97 lines. Sherrie Llewelyn replied that the Planning Commission waived the installation of street  
98 trees on Center Street for the Maverik property. She said this would be a decision for the  
99 Planning Commission to make.

100  
101 Commissioner Larson asked for clarification on parking and vehicle storage. She asked how  
102 many cars could be accommodated in each service bay. Sherrie Llewelyn responded that four  
103 cars could be inside the building, two outside the doors, and multiple vehicles in the gravel area.

104  
105 Commissioner Larson asked if the outside storage would be behind the fencing. Sherrie  
106 Llewelyn responded affirmatively.

107  
108 Commissioner Larson asked for clarification that the applicant was asking for grasses along  
109 Center Street instead of trees due to the location under the power lines. Sherrie Llewelyn replied  
110 that this was correct. Certain species of trees located beneath power lines may require  
111 maintenance/trimming that could reduce curb appeal Commissioner Van Langeveld commented  
112 that she was in favor of trees along Center Street. She asked about the process with Maverik.  
113 Sherrie Llewelyn said that the new tree standards were not in place when the Maverik  
114 application was approved. She said the tree list contained trees that were suitable for being  
115 planted beneath power lines.

116  
117 Robin Evans expressed concern that more foliage along Center Street would block the view,  
118 which increased the risk of theft. She said the other deterrents were that the property was well lit  
119 and a high traffic area, which would aide in reducing theft.

120 Commissioner Van Langeveld asked if there was a plan for sidewalks in the area. Sherrie  
121 Llewelyn replied that there was not a plan for sidewalks in the industrial area. She said there was  
122 a trail on Center Street.

123  
124 Commissioner Garn said he could go either way with the trees. He felt Center Street was busy  
125 enough that it would help to deter crime.

126  
127 Commissioners Knowlton and Van Langeveld wanted the proposed trees to be planted.

128  
129 Commissioner Kirkham commented that he liked the trees as long as the chosen species did not  
130 interfere with the utility lines.

131  
132 Commissioner Van Langeveld said if a smaller tree was chosen it would not provide as much  
133 cover for theft and would allow better view of the building from the street.

134  
135 Commissioner Van Langeveld spoke on the red proposed for the building and asked if there was  
136 anything in the City code regarding colors. She asked if the applicant would be tied to using the  
137 proposed colors. Sherrie Llewelyn replied that there was nothing in the code that specified  
138 specific colors. She said that colors were only required per development agreements in the  
139 Planned Districts.

140  
141 Robin Evans commented that the red was part of their company branding which they would like  
142 to use at their new location.

143  
144 Chair Knowlton commented that he liked the exterior option with the red trim around the  
145 windows.

146  
147 **Commissioner Garn moved that the Planning Commission approve the conditional use**  
148 **permit & site plan amendment for Evans Automotive located at 35 N 700 West with the**  
149 **following conditions:**

- 150  
151 **1) Planning redline corrections:**  
152 **a) Verify clear view areas to driveways and intersections**  
153 **b) Customer parking: add island with trees at the end of parking rows and**  
154 **relocate parking spaces on east for better access and additional parking**  
155 **spaces**  
156 **c) Modify proposed street trees to approved species and increase number of**  
157 **trees per spacing requirements for tree species**  
158 **d) Remove existing trees located in clear view area and trim tree blocking stop**  
159 **sign visibility on 700 West**  
160 **2) Engineering redline corrections:**  
161 **a) Correction of typical asphalt paving cross section**

- 162                   **b) Amend drainage flow per note**
- 163                   **c) Gravel surfaces must be a dustless gravel**
- 164                   **d) Submit hydrology calculations**

165  
166   **Commissioner Kirkham seconded the motion. The motion was approved by**  
167   **Commissioners Knowlton, Garn, Kirkham, Ward, Tucker, Larson and Van Langeveld.**

168  
169           4. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY  
170           PLANNING COMMISSION

171  
172   Sherrie Llewelyn reported that the City Council approved the preliminary plan and rezoning for  
173   Phase 2 of the NSL City Center project. This included the expansion of the Chaparral property.  
174   She said the Redevelopment Agency reviewed their annual report and things were going well  
175   with the various RDAs as many were ahead of the average collection time that was predicted.

176  
177   Ms. Llewelyn asked when the Planning Commission would like to have a joint meeting with the  
178   City Council on November 24<sup>th</sup> or December 8<sup>th</sup> to review the form based code. As there was no  
179   preference from the Commission the City Council would determine the date for the joint  
180   meeting.

181  
182   Chair Knowlton reported on the Wasatch Choice Workshop on November 4<sup>th</sup> and invited the  
183   Planning Commission, City Council and staff to attend. He said the purpose of the workshop was  
184   two pronged and included a discussion of transportation in this area and the new requirements  
185   for general plans and how they related to transportation. Wasatch Front Regional Council, would  
186   be hosting this meeting.

187  
188   Commissioner Garn commented that his term on the Commission was almost done. He asked if  
189   changes were going to be made due to COVID. Sherrie Llewelyn replied that staff would ask the  
190   Mayor how he would like to proceed.

191  
192           5. APPROVAL OF MINUTES

193  
194   The Planning Commission meeting minutes of October 13, 2020 were reviewed and approved.

195  
196   **Commissioner Van Langeveld moved to approve the Planning Commission meeting**  
197   **minutes of October 13, 2020 with the requested changes. Commissioner Garn seconded the**  
198   **motion. The motion was approved by Commissioners Knowlton, Garn, Kirkham, Ward,**  
199   **Tucker, Larson and Van Langeveld.**

200 6. ADJOURN

201

202 Chair Knowlton adjourned the meeting at 7:05 p.m.

203

204

205

206

207 \_\_\_\_\_  
Chair

\_\_\_\_\_  
Recorder

208

209

210

211

212 \_\_\_\_\_  
Secretary