



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA March 23, 2021 6:30 p.m.

ELECTRONIC MEETING LINK: <https://bit.ly/3lrGvji>

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council chambers located at 10 East Center Street. The agenda will be as follows:

- 1) Proclamation by Planning Commission Chair Regarding Electronic Meeting

Welcome, Pledge, and Introduction

- 2) Public comments
- 3) Public Hearing-Consideration of a Plat Amendment for Eaglepointe Estates Lot 1021R and 1020R, Zack Olson, applicant
- 4) Consideration of a Conditional Use Permit for the Stratford Pool House at 659 South Cordova Court, Eric Beard, applicant
- 5) Consideration of a Preliminary and Final Plat for Rupp PUD, a 3 lot subdivision at 824 Eaglepointe Dr., Carl Rupp, applicant
- 6) Consideration of a proposed amendment to the General Development Plan & Concept Plan for Williamsburg Luxury Apartments at 256 South Hwy 89, Duaine Rasmussen, applicant
- 7) Consideration of Final Plat approval for Silver Sky PUD at 212 North Highway 89, Ben Olsen, applicant
- 8) Consideration of Final Plat approval for Eaglewood Cove PUD Ph. 13, Wilford Cannon, applicant
- 9) Report on City Council actions on items recommended by Planning Commission
- 10) Approval of minutes:
 - a. 3/9/2021

Adjourn

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours' notice for adequate arrangements to be made. The agenda items may be heard in a different order as warranted by the Commission.

Notice of Posting:

I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this 18th day of March, 2021.

Dated this 18th day of March, 2021.





PROCLAMATION
OF THE
CITY OF NORTH SALT LAKE
PLANNING COMMISSION

WHEREAS, the Planning Commission Chair has determined that conducting public meetings of the Planning Commission with an anchor location where the public could attend in person, presents a substantial risk to the health and safety of those who may be present at that location based upon the current Covid-19 pandemic and the limited staff support to properly ensure physical distancing and sufficient disinfection for attendees and staff.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission shall hold meetings for the month of March 2021 by electronic means only, and will not include an anchor location where the public could attend in person.

Dated: March 23, 2021

Ted Knowlton, Chair



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
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MEMORANDUM

TO: Planning Commission
FROM: Mackenzie Bennett, Planner
DATE: March 23, 2021
SUBJECT: Plat Amendment to combine lots 1021R and 1020R of the Eaglepointe Estates Phase 10 Subdivision at 653 and 665 East Country Court

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the plat amendment to combine lots 1021R and 1020R of the Eaglepointe Estates Phase 10 Subdivision at 653 and 665 East Country Court with the following condition:

1. Completion of engineering redlines, if any.

BACKGROUND

The proposed plat amendment combines lots 1021R and 1020R of Eaglepointe Estates Phase 10. Both lots are owned by a single property owner, the Nielson family. Lot 1021R is 0.35 acres and has a single family dwelling on it. Lot 1020R is 0.31 acres and is vacant. There are no public utility easements that must be vacated in order to combine the lots or build across the dividing lot line. The proposed lot will be approximately 0.66 acres in size.

Once the lots are combined, the applicant plans to add an addition to the existing structure on lot 1021R. The preliminary plan of the addition includes a sky bridge connecting the existing structure to a proposed structure on lot 1020R. The proposed structure will act as a sort of pool house with other amenities such as a media room and three car garage. Due to the new structure being connected to the main dwelling by a sky bridge, it's considered an addition.

The applicant has not submitted a building permit application for the addition yet. When the building permit is applied for, the Community Development Department will review all setbacks, access and building code to ensure it is compliant before issuing the permit.

Under the City Subdivision ordinance, plat amendments require a public hearing. Notice was sent to property owners of the public hearing and comments regarding the following environmental items were requested:

1. Erosion, dust, soils and top soil loss;
2. Grades, slope stability and Geologic hazards;
3. Ground water, water courses, flood hazards and areas;
4. Vegetative types;
5. Wildlife and habitat;
6. Essential urban services presently available;
7. Fire potential;
8. Accumulation of solid and liquid wastes;
9. Potential area-wide economic impact of the development.

No comments regarding the plat amendment and associated easement vacation have been received.

POSSIBLE MOTION

I move that the Planning Commission recommend approval to the City Council of the plat amendment that combines lots 1021R and 1020R of the Ealgepointe Estates Phase 10 Subdivision at 653 and 665 East Country Court with the following condition:

1. Completion of Engineering Redlines, if any.

Attachments

- 1) Aerial/Zoning Map
- 2) Amended Plat



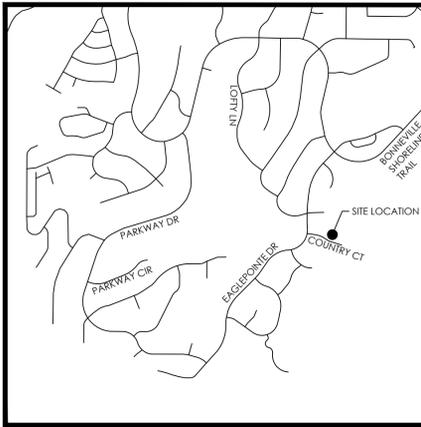
Plat Amendment Eaglepointe Estates Ph. 10 – Lot 1021R & 1020R Zoning



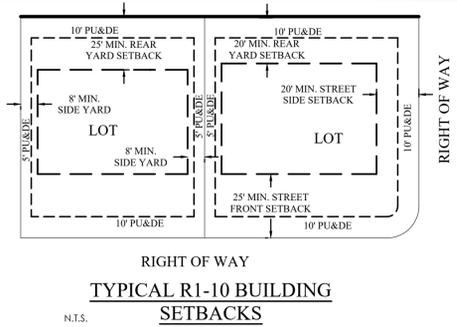


Plat Amendment Eaglepointe Estates Ph. 10 – Lot 1021R & 1020R Aerial





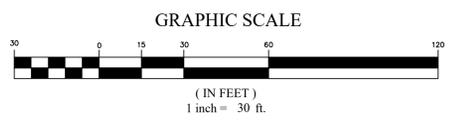
VICINITY MAP
N.T.S.



RIGHT OF WAY
TYPICAL R1-10 BUILDING SETBACKS
N.T.S.

EAGLEPOINTE ESTATES PH 10

LOTS 2020R AND 2021R AMENDED
LOCATED IN THE SE CORNER OF SECTION 12 AND THE NE CORNER OF SECTION 13, T1N, R1W,
SALT LAKE BASE & MERIDIAN
NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH
MARCH 2021



LEGEND

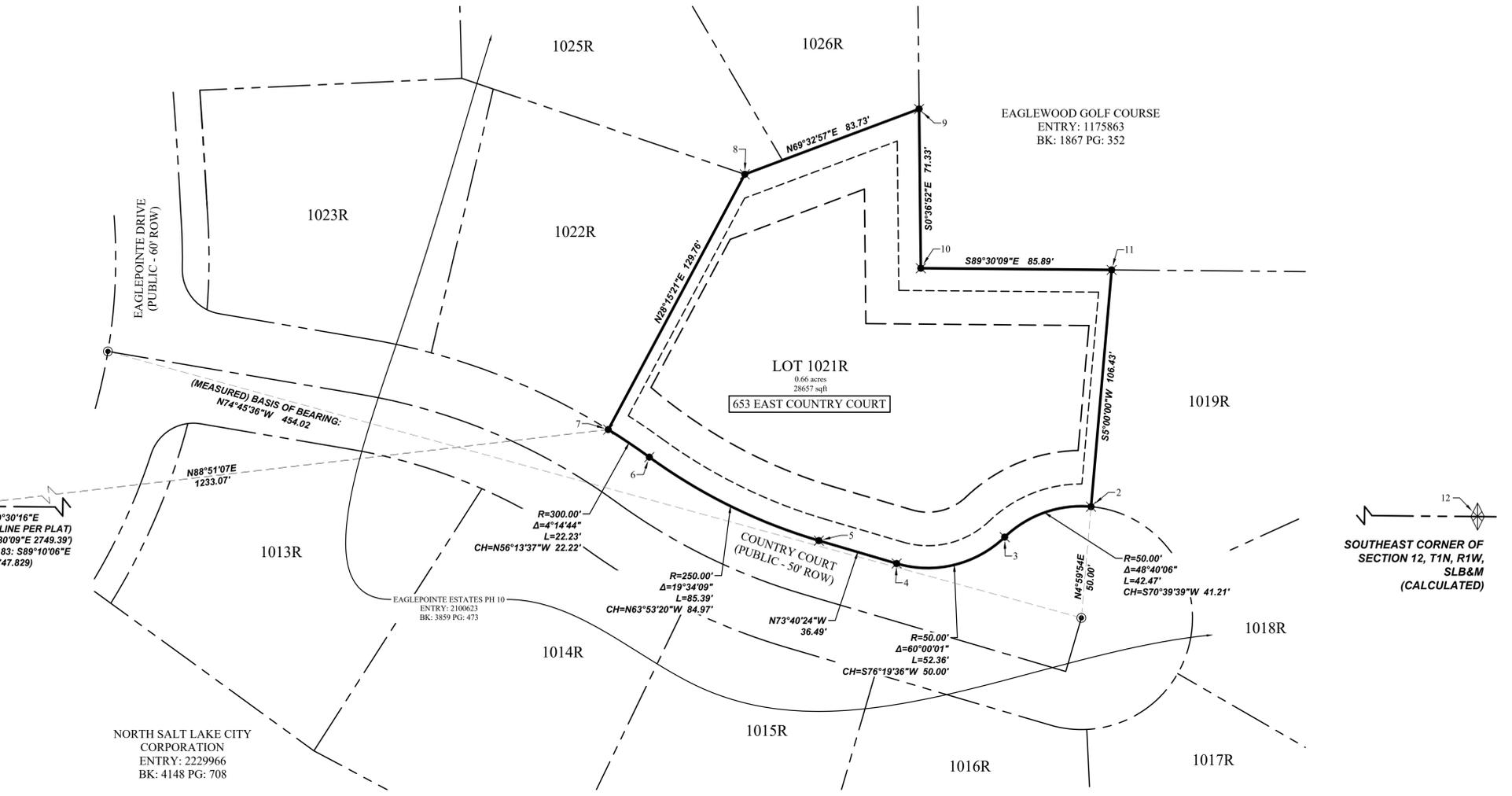
- BOUNDARY
- - - SECTION LINE
- - - EASEMENT
- - - RIGHT-OF-WAY LINE
- - - CENTER LINE
- - - BUILDING SETBACK
- - - EXISTING PROPERTY LINE
- - - EXISTING STREET MONUMENT
- EXISTING STREET MONUMENT
- ◇ SECTION MONUMENT (CALCULATED)
- BOUNDARY MARKERS
- × COORDINATE POINT

NOTES

- #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
- ROTATE BEARINGS 0°20'10" CLOCKWISE TO CONVERT TO NAD 83

Davis County Coordinates

Point #	Northing	Easting
1	97366.7500	110568.2300
2	97356.9101	112018.3099
3	97343.2643	111979.4287
4	97331.4449	111930.8457
5	97341.7028	111895.8272
6	97379.1004	111819.5265
7	97391.4554	111801.0521
8	97505.7535	111862.4817
9	97535.0091	111940.9344
10	97463.6832	111941.6993
11	97462.9374	112027.5861
12	97342.9000	113317.5100



SURVEYOR'S CERTIFICATE

I, Evan J. Wood, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 183395 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owners(s) that I have completed a Survey of the property described on this Plat in accordance with Section 17-23-17 of said Code, and have subdivided said tract of land into lots, streets, and easements, and the same has, or will be correctly surveyed, staked and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

Evan J. Wood Professional Land Surveyor Certificate No. 183395 Date _____

BOUNDARY DESCRIPTION

All of Lot 1020R and Lot 1021R, EAGLEPOINTE ESTATES PHASE 10, according to the Official Plat thereof recorded August 29, 2005 as Entry No. 2100623 in the Office of the Davis County Recorder

Contains: 28657 square feet or 0.66 acres +/-

NOTE:
ROTATE BEARINGS 0°20'10" CLOCKWISE TO CONVERT TO NAD 83

OWNER'S DEDICATION

KNOW ALL BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS

**EAGLEPOINTE ESTATES PH 10
LOTS 2020R AND 2021R AMENDED**

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE OWNER(S) WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREETS.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____ IN SAID STATE OF UTAH, _____ THE PERSON SIGNING THE FOREGOING OWNER'S DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN DESCRIBED.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____

COUNTY _____

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

FOCUS
ENGINEERING AND SURVEYING, LLC
6949 HIGH TECH DRIVE
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com

PLANNING COMMISSION

RECOMMENDED FOR APPROVAL AS TO FORM THIS DAY OF _____, 20____ BY THE NORTH SALT LAKE CITY PLANNING COMMISSION.

CHAIRMAN, PLANNING COMMISSION _____

CITY ENGINEER

RECOMMENDED FOR APPROVAL AS TO FORM THIS DAY OF _____, A.D., 20____.

NORTH SALT LAKE CITY ENGINEER _____

CITY ATTORNEY

RECOMMENDED FOR APPROVAL AS TO FORM THIS DAY OF _____, A.D., 20____.

NORTH SALT LAKE CITY ATTORNEY _____

CITY COUNCIL

PRESENTED TO THE NORTH SALT LAKE CITY COUNCIL THIS DAY OF _____, 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR _____

ATTEST: _____ CITY RECORDER

RECORDED # _____

STATE OF UTAH, COUNTY OF DAVIS
RECORDED AND FILED AT THE REQUEST OF _____

DATE _____ TIME _____ BOOK _____ PAGE _____

\$ _____ COUNTY RECORDER

E:\2021\21-0003 Nelson Residence\Design_21-0003\Drawings\Sheet\CS2 - final.plt.dwg



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission
FROM: Mackenzie Bennett, Planner
DATE: March 23, 2021
SUBJECT: Conditional Use Permit for the Stratford Pool House located at 659 South Cordova Court

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the conditional use permit for the Stratford Pool House, an accessory dwelling unit, at 659 South Cordova Court, including the exceptions to a maximum height of 23 feet and a maximum ADU size 2150 sq. ft. with the following condition(s):

1. Installation of a 6 foot fence or barrier to provide complete perimeter security of the pool.
2. Engineering redlines, if any.

BACKGROUND

The applicant, Eric Beard of Beard Construction is requesting a conditional use permit to construct a detached accessory dwelling unit (ADU) for the Stratford family located at 659 and 671 South Cordova Court. The Stratford family owns both parcels located at the referenced addresses which are lots 1036R and 1035R of the Eaglepointe Estates Phase 10 subdivision.

Lot 1036R (659 South Cordova Court) is approximately 0.5 acres and has the existing primary dwelling unit on it. Lot 1035R (671 South Cordova Court) is approximately 0.34 acres and is currently vacant. The plan is to construct an ADU, swimming pool, retaining walls and a sport court on lot 1035R to compliment what is existing on lot 1036R.

The applicant and property owner are in the process of combining the lots with Davis County for tax purposes only which does not require a formal lot line adjustment or plat amendment.

According to Davis County Recorder's FAQ website page, *"The combination of contiguous parcels for the convenience of receiving a single tax notice, or for other taxing purposes such as Greenbelt Application, occurs at the request from the property owner when a conveyance document such as a Quit Claim Deed is executed and duly recorded in the Office of County Recorder. The request for combination of parcels should be stated on the document, along with the legal descriptions to be combined. The parcels to be combined must meet certain criteria:*

- *The parcels must be contiguous to each other.*
- *They must have identical ownership and vesting.*
- *They must be located within the same county taxing unit.*
- *All owners must agree to such a combination.*

All parcels must be current as to taxing status, as certified by the Office of County Treasurer.”.

No public utility easements will be vacated in order to construct the proposed items on lot 1035R. Therefore, the above mentioned method of combining lots is acceptable for the given uses.

REVIEW

The proposed ADU is compliant with all building setbacks and standards with the exception of building size and height. The proposed ADU is approximately 2,150 square feet in size and 23 feet tall (from foundation to roof peak). According to City code 10-1-44 and 10-1-28, the maximum size of an ADU is 1,200 square feet and the maximum height is 14 feet to the top of the wall plate and no higher than 20 feet to the highest point of the building roof or coping, nor be taller than the primary structure.

The applicant is requesting the additional height of the ADU because they feel that it will allow the new building to match and complement the existing and primary structure. The ADU will not be taller than the primary structure. All finish materials will match and or complement the existing residence.

The Planning Commission may issue a conditional use permit for ADUs which modifies the requirements for an ADU with respect to maximum size, minimum parking, or setback. In approving a conditional use permit the planning commission may require additional conditions to mitigate the impact of the ADU on surrounding properties. Specifically, the Planning Commission may require increased setbacks, privacy fencing, limitation on windows and doors adjacent to abutting property lines, and additional parking.

The DRC has not found any potential negative impacts this ADU will have on the surrounding area due to its size and height.

The ADU will have its own driveway which will be 15 feet wide. City code 10-6-2 allows residential lots with a frontage greater than 100 feet two access driveways up to 15 feet wide. Once combined the lot frontage will be greater than 150 feet.

The ADU, swimming pool and retaining walls will be submitted as separate building permits. In order to be granted a building permit for the swimming pool the applicant must meet the fence and access requirements for swimming pools. City code 9-10-1 requires the following: A fence or other barrier is required around a public pool or private residential pool and must provide complete perimeter security of the facility. It must be at least six feet (6') in height. There shall not be openings through the fence or barrier, other than entry or exit access, which permit a sphere greater than four inches (4") to pass through into the pool enclosure. The current site plan does not show a fence or barrier in between the existing dwelling unit and the proposed ADU.

This conditional use permit is subject to the requirements of the City's Land Use Ordinance (10-7-1-4), requiring that every Conditional Use Permit shall expire by limitation and become null and void if the work authorized by such permit has not commenced within one (1) year, or is not completed within two (2) years from date of issue.

POSSIBLE MOTION

I move that the Planning Commission approve the conditional use permit for the Stratford Pool House, an accessory dwelling unit, at 659 South Cordova Court, including the exceptions to a maximum height of 23 feet and a maximum ADU size 2150 sq. ft. with the following condition(s):

1. Installation of a 6 foot fence or barrier to provide complete perimeter security of the pool.
2. Engineering redlines, if any.

Attachments

- 1) Aerial/Zoning Map
- 2) Amended Plat
- 3) Site and Elevation Plans

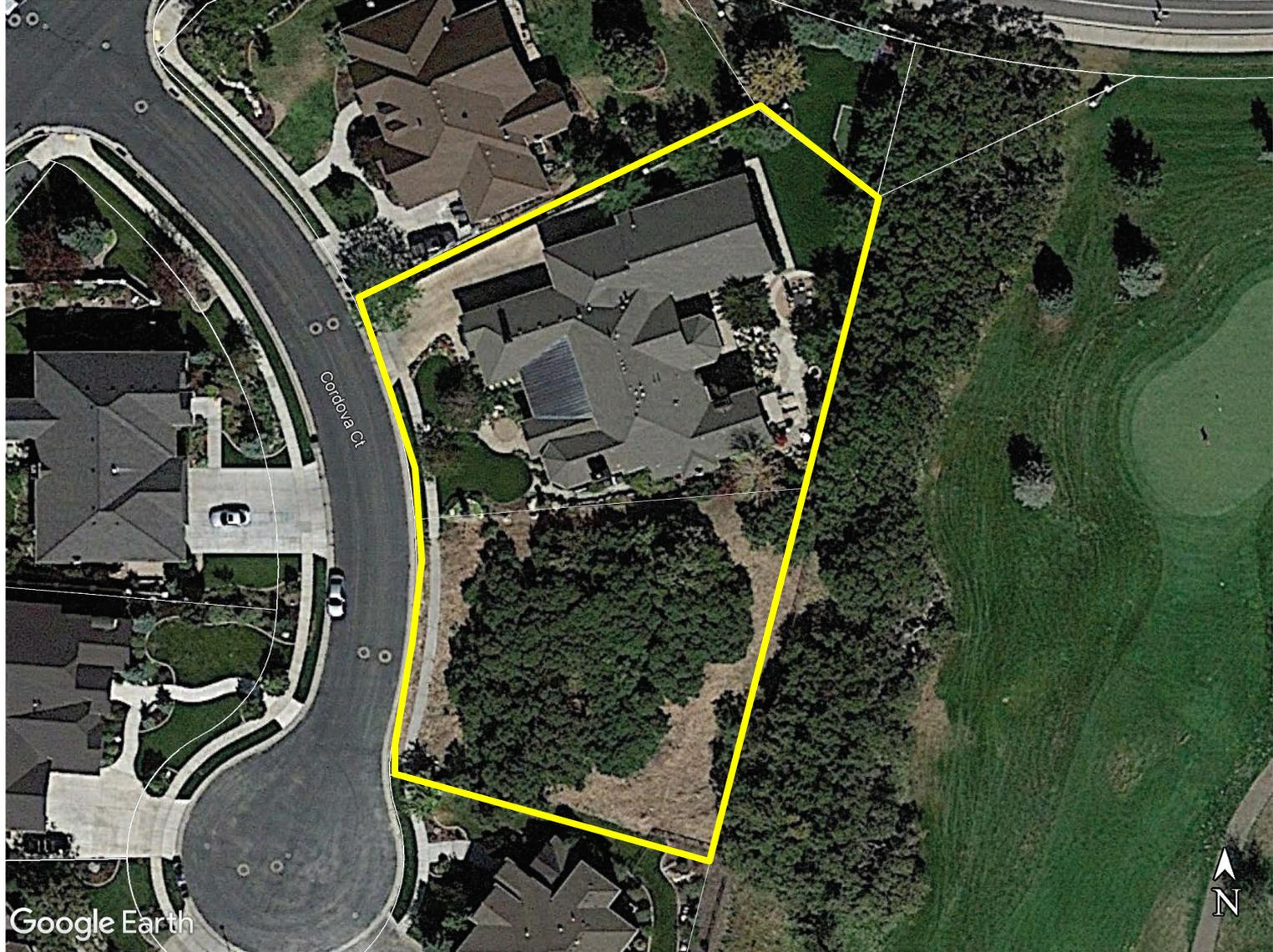


Stratford Pool House 659 South Cordova Court Zoning





Stratford Pool House
659 South Cordova Court
Aerial



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SITE PLAN
POOL HOUSE
 STRATFORD RESIDENCE
 COPYRIGHT 2021 BY LANDFORMS DESIGN (801) 298-2240

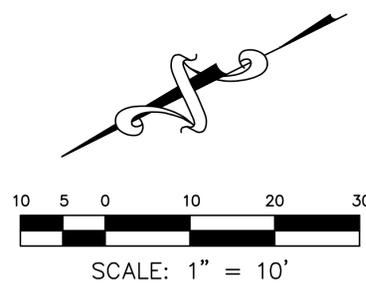
REVISIONS	date	item

ENGINEER OF RECORD	YORK
CAD TECH	CBM
RELEASE DATE	03/15/21

S1

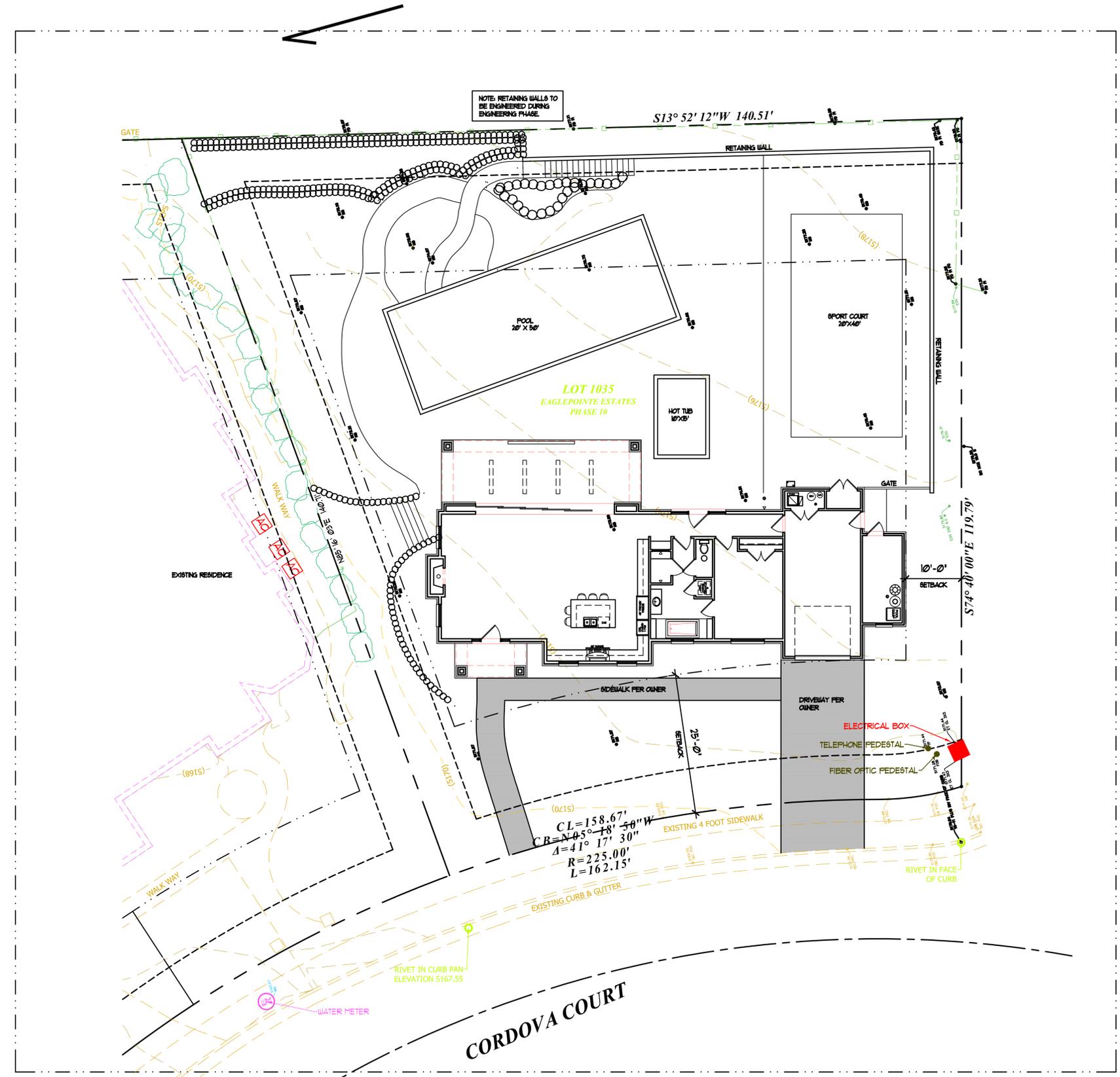
LINE LEGEND	
	LOT BOUNDARY
	BUILDING PAD
	PUBLIC UTILITY EASEMENT
	EXISTING GRADE
	PROPOSED GRADE

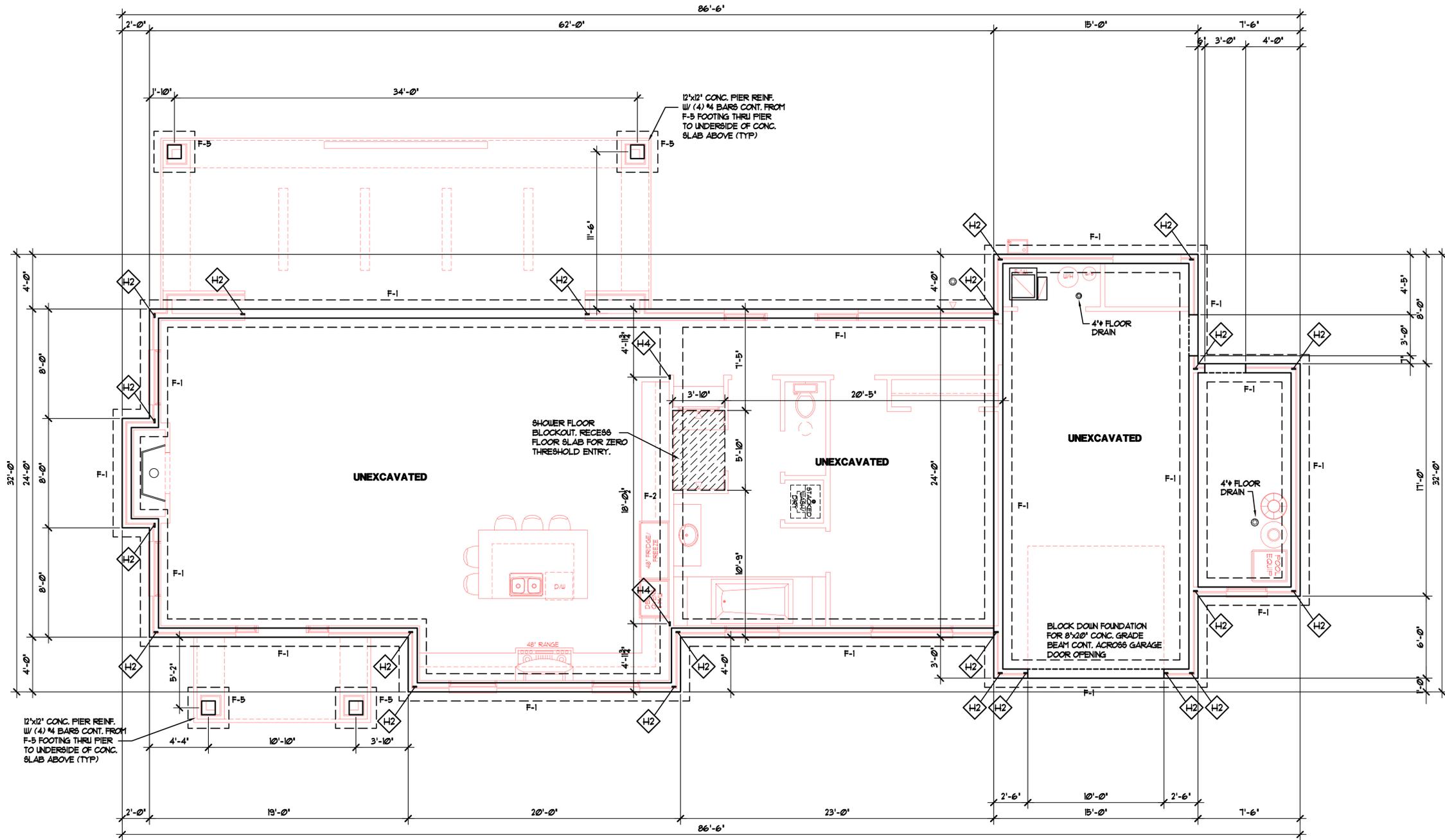
- SITE PLAN GENERAL NOTES**
- DUST, MUD AND EROSION SHALL BE CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES.
 - BUILDER/ OWNER SHALL SECURE AN EXCAVATION PERMIT PRIOR TO DOING ANY WORK IN THE PUBLIC RIGHT-OF-WAY. TRAFFIC PLAN, BONDING AND INSURANCE WILL BE REQUIRED.
 - PROVIDE FINISH GRADING AWAY FROM THE HOUSE ON ALL SIDES AT A MINIMUM OF 6" IN FIRST 10'-0" HORIZONTAL SLOPE IN LANDSCAPED AREAS. THEN MAINTAIN 2% MIN. HORIZONTAL SLOPE IN GRADE THEREAFTER TO APPROVED DRAINAGE AREAS.
 - IF RETAINING WALLS ARE REQUIRED, A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND APPROVE ANY RETAINING WALL THAT IS HIGHER THAN (4) FEET FROM BOTTOM FINISH GRADE TO TOP OF WALL, ONCE CONSTRUCTED.
 - PROVIDE ON SITE RETENTION OF ALL STORM WATER RUN OFF, BY WHATEVER MEANS NECESSARY DURING CONSTRUCTION.
 - SHOULD GROUND WATER BE INCURRED DURING EXCAVATION, A QUALIFIED SOILS ENGINEER SHALL BE RETAINED TO DESIGN AND APPROVE A CONTINUOUS FRENCH DRAIN AT FOUNDATION ON SITE.
 - MAINTAIN NATURAL EXISTING GRADE AT REAR AND SIDES OF LOT WHERE POSSIBLE TO RETAIN STORM WATER. NO RUNOFF ONTO ADJACENT PROPERTIES.



LOT 1035
EAGLEPOINT ESTATES SUBD.
659 SOUTH CORDOVA COURT
NORTH SALT LAKE, UT.

SITE PLAN
 SCALE: 1" = 10'-0"





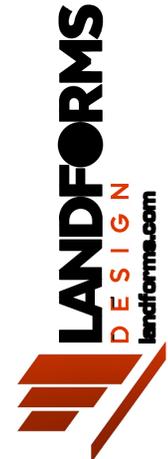
FOOTING & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- TYP HOLD-DOWN/TIE MARK SEE HOLD-DOWN/TIE SCHEDULE FOR SIMPSON MODEL AND ATTACHMENT
- TYP SHEARWALL SEE HOLD-DOWN/TIE SCHEDULE FOR SIMPSON MODEL AND ATTACHMENT

REVISIONS	date	item

ENGINEER OF RECORD	YORK
CAD TECH	CBM
RELEASE DATE	03/15/21



FOOTING & FOUNDATION PLAN
POOL HOUSE
 STRATFORD RESIDENCE

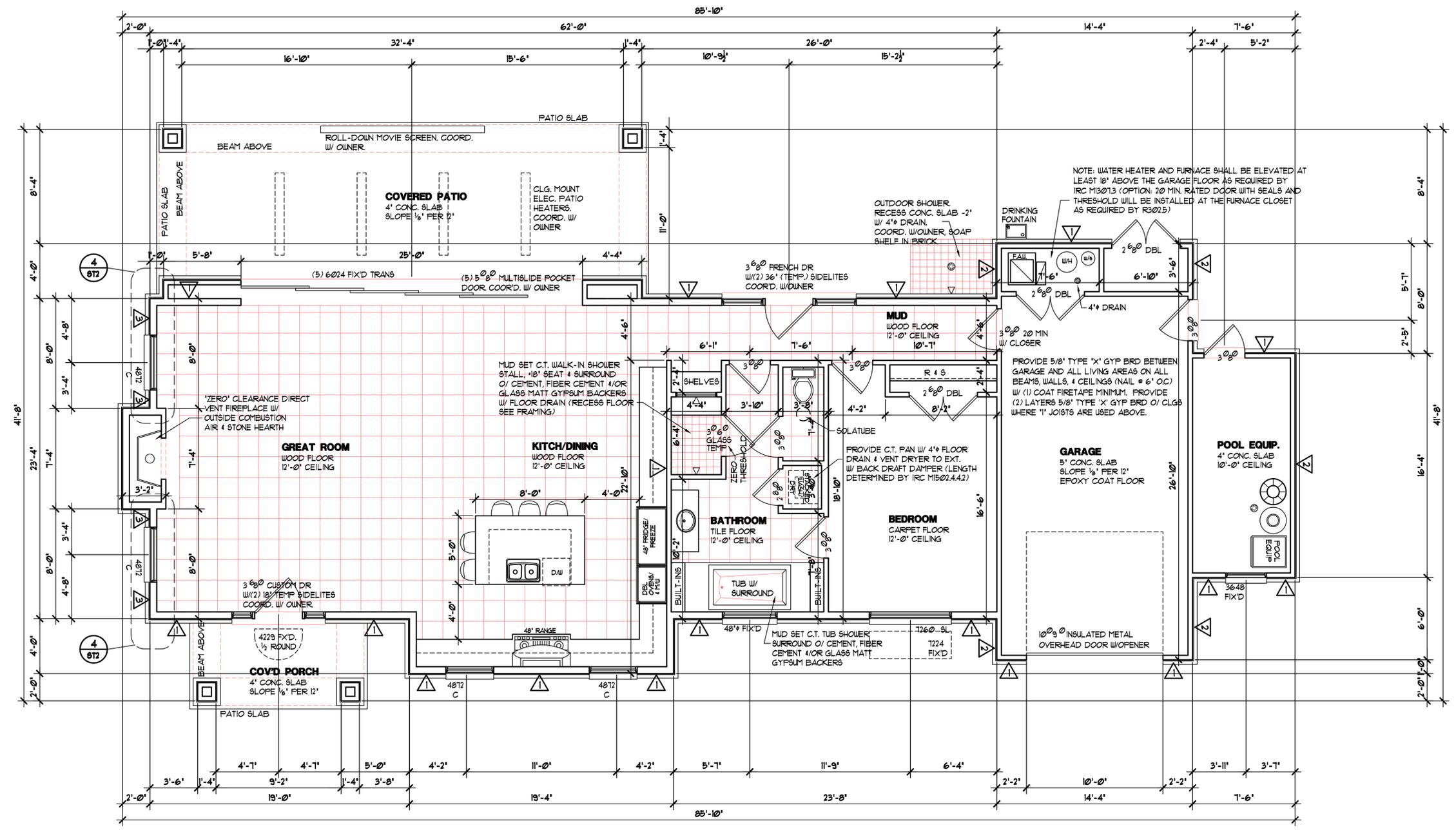
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 LOT # 10356 DIVISION # EAGLEPOINT ESTATES
 CITY: NORTH SALT LAKE DATE: 03/15/21
 PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE.

A1

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REVISIONS	DATE	ITEM

ENGINEER OF RECORD	YORK
CAD TECH	CBM
RELEASE DATE	03/15/21



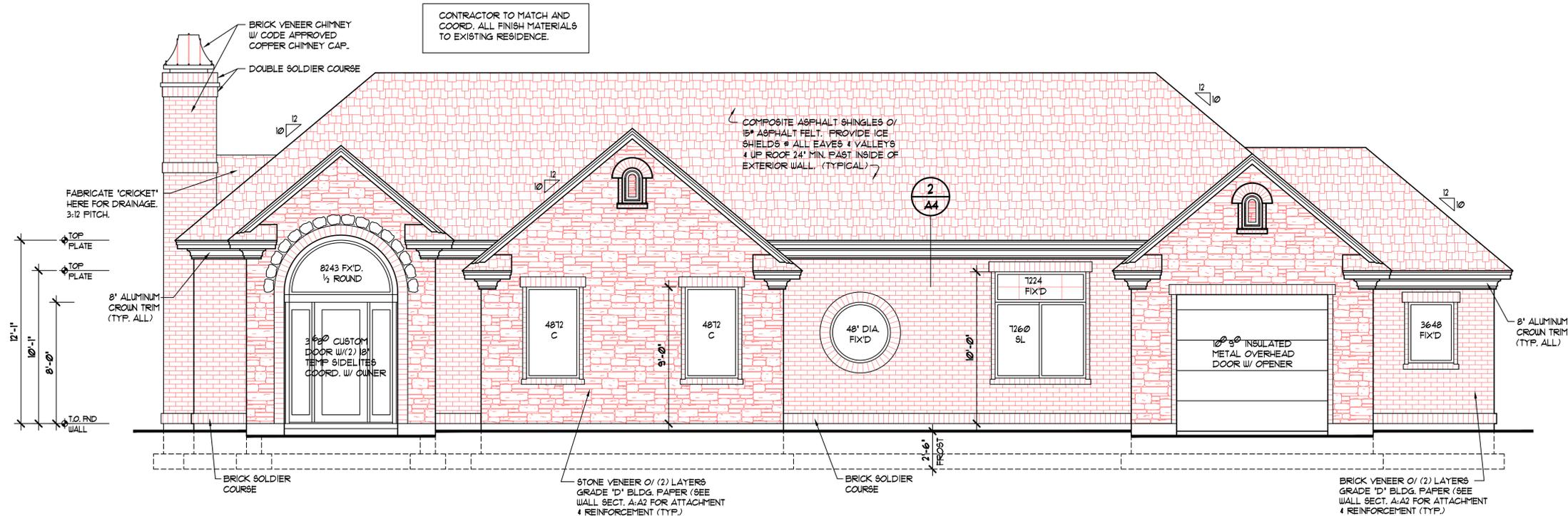
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

MAIN LIVING: 1524 SQ. FT.
GARAGE: 434 SQ. FT.
POOL EQUIP: 122 SQ. FT.

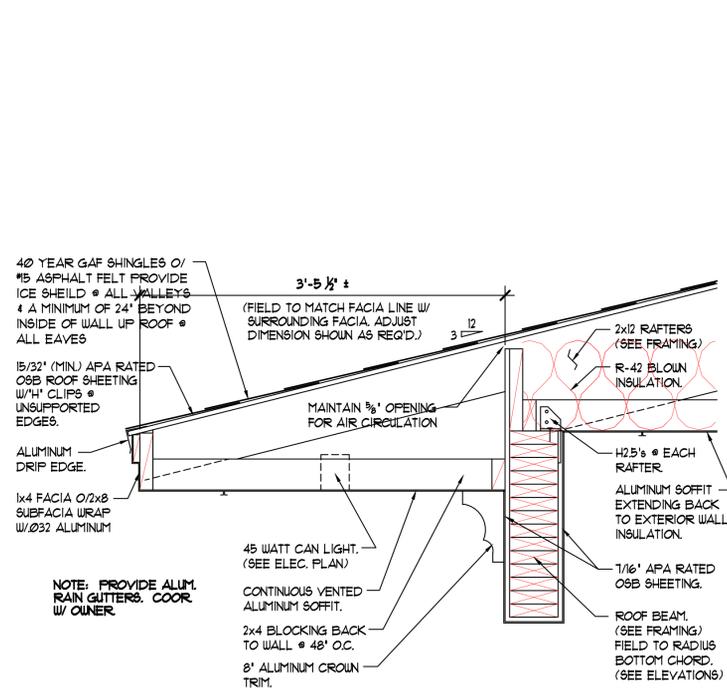
H2 TYP HOLD/DOWN/TIE MARK SEE HOLD/DOWN/TIE SCHEDULE FOR SIMPSON MODEL AND ATTACHMENT

▲ TYP SHEARWALL SEE HOLD/DOWN/TIE SCHEDULE FOR SIMPSON MODEL AND ATTACHMENT



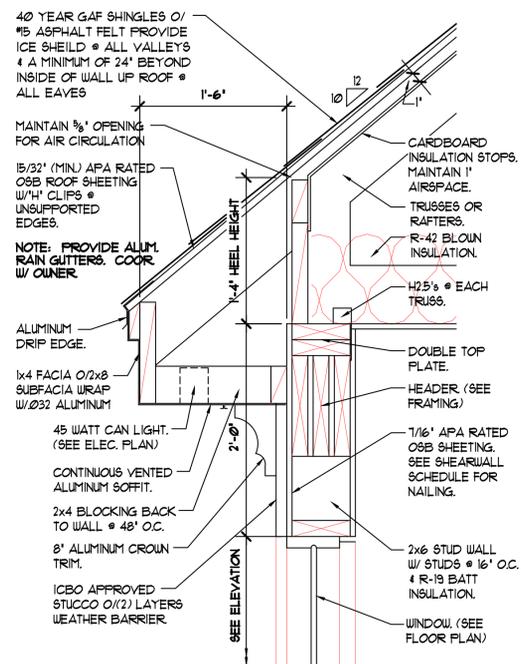
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



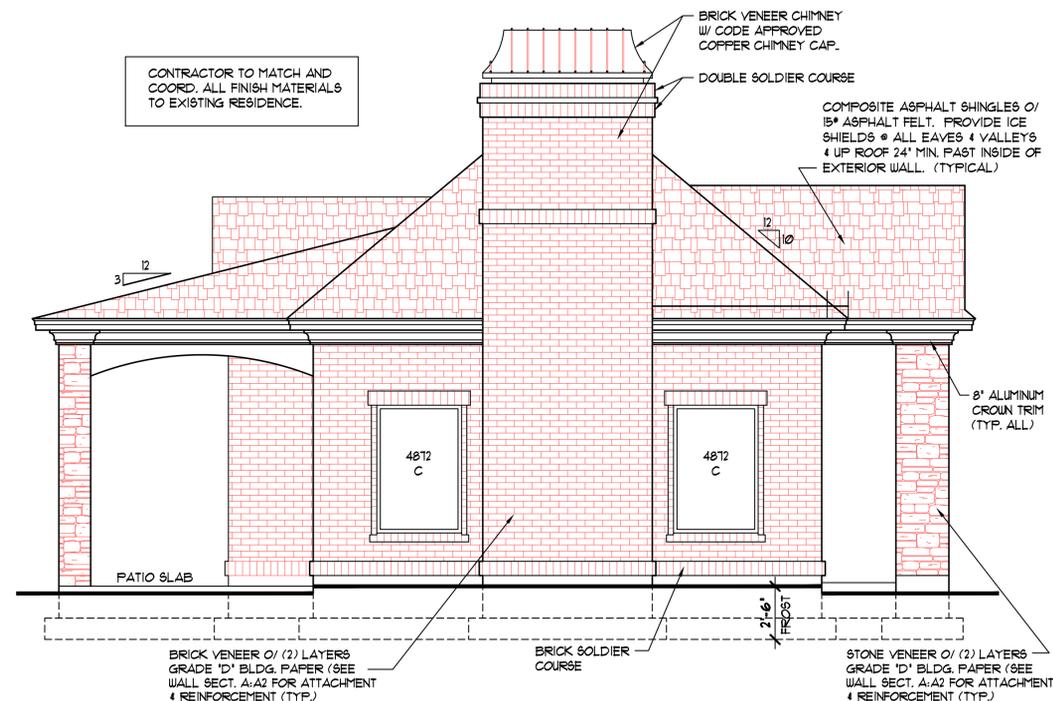
1 EAVE DETAIL

SCALE: 1/2" = 1'-0"



2 EAVE DETAIL

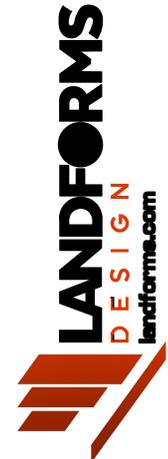
SCALE: 1/2" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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 LOT # 10356 DIVISION # EAGLEPOINT ESTATES
 CITY: NORTH SALT LAKE DATE: 03/15/21
 PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE.



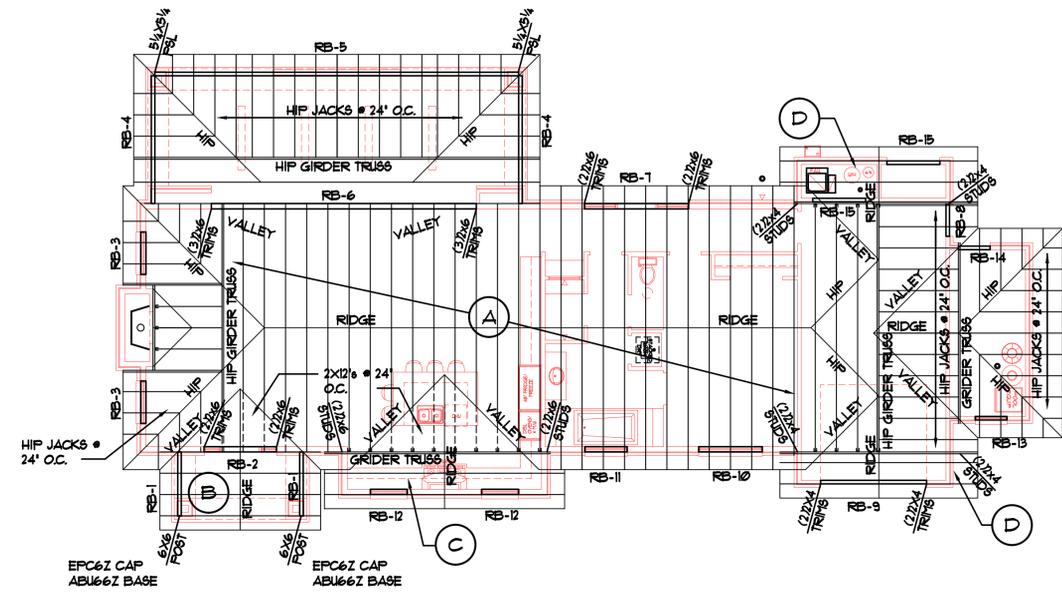
EXTERIOR ELEVATIONS
POOL HOUSE
 STRATFORD RESIDENCE

COPYRIGHT 2021 BY LANDFORMS DESIGN (801) 238-2240

REVISIONS	date	item

ENGINEER OF RECORD	YORK
CAD TECH	CBM
RELEASE DATE	03/15/21

A4



ROOF DIAPHRAGM:
5/8" APA RATED OSB SHEETING, NAILED
W/ 8d @ 6' O.C. AT DIAPHRAGM BOUNDARIES
SUPPORTED EDGES. NAIL W/ 8d @ 12" O.C. AT
FIELD.

NOTE:
ALL INT. BEARING HEADERS TO BE (2) 2x10'
AND ALL EXTERIOR HEADERS TO BE (2)
2x10' UNLESS NOTED OTHERWISE

ROOF FRAMING PLAN (45 lb snow)

SCALE: 1/8" = 1'-0"

ROOF BEAM SCHEDULE

LVL- LAMINATED VENEER LUMBER
GLB- GLULAM BEAM
DIM- DIMENSIONAL LUMBER

MARK	TYPE	SIZE	NOTES
RB-1	L.V.L.	(2) 3/4" x 9 1/2'	TOP OF BEAM = BOTTOM OF RAFTERS
RB-2	L.V.L.	(2) 3/4" x 9 1/2'	HEADER
RB-3	DIM	(2) 2x10'	HEADER
RB-4	L.V.L.	(2) 3/4" x 11 1/8'	TOP OF BEAM = BOTTOM OF RAFTERS
RB-5	STEEL	W12X35	HEADER
RB-6	L.V.L.	(2) 3/4" x 16'	HEADER
RB-7	L.V.L.	(2) 3/4" x 9 1/2'	HEADER
RB-8	DIM	(2) 2x10'	HEADER
RB-9	L.V.L.	(2) 3/4" x 11 1/8'	HEADER
RB-10	L.V.L.	(2) 3/4" x 9 1/2'	HEADER
RB-11	DIM	(2) 2x10'	HEADER
RB-12	DIM	(2) 2x10'	HEADER
RB-13	DIM	(2) 2x10'	HEADER
RB-14	DIM	(2) 2x10'	HEADER
RB-15	L.V.L.	(2) 3/4" x 9 1/2'	HEADER

NOTE: IT IS THE CONTRACTOR'S - AND - TRUSS
MANUFACTURER'S RESPONSIBILITY TO FIELD
VERIFY ALL TRUSS TYPES, SHAPES, SIZES,
LAYOUT, PITCH AND PLATE HEIGHTS AND TO
COORDINATE EACH TRUSS WITH PLANS,
ELEVATIONS & SECTIONS PRIOR TO ORDERING.

PLEASE, NOTIFY LANDFORM'S DESIGN OF ANY
DISCREPANCIES.

SUBMIT TRUSS DESIGN SHEETS TO LANDFORM'S
PRIOR TO FABRICATION. (REMEMBER WHAT
'ASSUMING' DOES TO YOU AND ME)

TRUSS TYPES

SCALE: 1/8" = 1'-0"

ATTENTION:
THESE PLANS, DRAWINGS AND DESIGNS ARE THE PROPERTY
OF LANDFORM'S DESIGN. ALL RIGHTS ARE RESERVED AND
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LOT # 10356 DIVISION # EAGLEPOINT ESTATES
CITY NORTH SALT LAKE DATE 03/15/21
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REVISIONS	date	item

ENGINEER OF RECORD	YORK
CAD TECH	CBM
RELEASE DATE	03/15/21

A5



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission
FROM: Sherrie Pace, Community Development Director
DATE: March 23, 2021
SUBJECT: Preliminary Plan and Final Plat for a three lot subdivision, Rupp PUD (previously Lake View) Subdivision at 824 Eaglepointe Drive

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the requested preliminary plan and final plat for a three lot subdivision, Rupp PUD Subdivision, at 824 Eaglepointe Drive subject to the following conditions:

1. All construction and use of the lots will conform to the approved Slope Stability Assessment (revision 2) dated December 4, 2020;
2. Addition of plat note to the final plat; (attached as exhibit)
3. Completion of Engineering Redlines.

BACKGROUND

These properties are located at 824 Eaglepointe Drive and contain approximately 3.34 acres. The property is zoned Residential (R1-10) and the developer proposes to create 3 new lots. The property is located south of the Parkway Drive landslide adjacent to the now vacated Phase 19 of Eaglepointe Estates Subdivision. The property is zoned Residential (R1-10) and the developer proposes to create 3 new lots, as a PUD subdivision with one flag lot. The Concept Plan and Conditional Use Permit for the flag lot were approved in July 2019. The lot sizes range from 39,870 sq. ft. to 2.5 acres in size.

The property has undergone extensive geotechnical hazards review. Earthtech Engineering conducted the geohazards investigation. The previous 2016 report from Earthtech had raised concerns with the global stability of the hill side given that the landslide below had not been buttressed. In 2019 Mr. Rupp purchased the property and hired IGES to conduct additional testing and modeling. The City's geotech consultant is GeoStrata, who reviewed and approved the final report. An approved geotechnical report is required prior to receiving Preliminary Plan and Final Plat approval.

The approved Geotech Report Dated 12-4-2020 finds the property suitable for development and makes the following recommendations:

1. Any habitable structures be setback from the edge of the slope a minimum distance of 189 feet or 65.4 feet from the north property boundary;

2. Grading should be done by balancing the site and not adding additional structural fill to the hillslope;
3. Landscaping be done with positive drainage with no areas of ponding allowed, further intensive watering of landscaping should be avoided or minimized;
4. Minimize the introduction of water into the subsurface with no onsite sewage or storm drain disposal;
5. The final grading plan shall be prepared by IGES conforming to these recommendations and the plan should be reviewed by Geostrata.

An excerpt of the report is attached to this memo. A copy of the full report is available by contacting staff.

REVIEW

These properties are located at 824 Eaglepointe Drive and contain approximately 3.34 acres. The property is zoned Residential (R1-10) and the developer proposes to create 3 new lots. Lots 1 & 2 have direct frontage along Eaglepointe drive. The Final Plat has been modified from Concept Plan, with lots 1 & 2 having the required width of 80' at the front setback line of 30' and the flag lot has been corrected with a 30' wide and 139' long staff.

The lots have been modified slightly to incorporate additional property to the north. All additional property that was not included in the geologic hazards investigation has been labeled as outside the building envelope and declared a critical slope easement. No structures, grading, fill, or disturbance of vegetation is permitted. All lots meet the minimum lot size of 10,000 sq. ft.; lot 1 is 0.915 acres, lot 2 is 0.916 acres, and lot 3 is 2.506 acres. The City Engineer has reviewed each lot has demonstrated a minimum 5,000 sq. ft. of building envelope with an average slope of 30% or less.

There are several minor engineering redlines on the construction drawings and final plat as noted in the staff recommendation. The Preliminary Plan and Final Plat have been reviewed for conformity to the Land Use Code and Subdivision Ordinance and have been found to be compliant with adopted standards and regulations.

POSSIBLE MOTION

I move that the Planning Commission recommend approval to the City Council of the Preliminary Plan and Final Plat Rupp PUD Subdivision (previously Lake View Subdivision), a three lot subdivision at 824 Eaglepointe Drive subject to the following conditions:

1. All construction and use of the lots will conform to the approved Slope Stability Assessment (revision 2) dated December 4, 2020;
2. Addition of plat note to the final plat; (attached as exhibit)
3. Completion of Engineering Redlines.

Attachments

- 1) Final Plat Notes
- 2) Geotechnical Report Excerpt
- 3) Aerial/Zone Map
- 4) Final Plat

Notes:

1. The plat coordinates shown hereon are based on the datum of the Davis County Surveyor NAD83 datum. Record bearings, distances and coordinate values are shown in brackets []. All other dimensions and coordinate values are measured.
2. All un-fenced property corners will be set with a 5/8" rebar and plastic cap stamped "_____." or a rivet where the property corner is in concrete or asphalt.
3. Property is zoned R1-10
 - a. Building Envelopes: All homes and structures shall be contained within the building envelopes as specified on the plat. No structures, improvements, irrigated landscaping, materials storage, or grading permitted outside the building envelope. Prior to construction the lot owner/contractor shall be responsible to mark the buildable envelope on the property prior to inspection of footing and foundations.
 - b. All building envelopes shall be deemed the approved setback
4. Approval of this development plat by North Salt Lake City does not constitute any representation as to the adequacy of subsurface soil condition or the location or depth of groundwater tables.
5. All lots are deemed restricted lots and governed according to Title 10, Chapter 12 of the North Salt Lake City Code.
6. **GEOTECH:**
 - A. in accordance with city code section 10-12-4 all lots are required to submit with building permit application: "a site specific geotechnical report in accordance with chapter 18 of the international building (IBC) and any engineered construction plan which has been designed in compliance with the recommendations made within the geotechnical report for site excavation, grading, slope stability, structural components, landscaping, or any other geologic hazard mitigation specified."
 - B. The report must certify that the design of the construction has been done in accord with the recommendations for that specific lot as contained within the "Slope Stability Assessment (Revision 2): Lake View Subdivision", prepared by Intermountain Geoenvironmental Services Inc. (IGES) dated December 4, 2020. The report must address Section 6 Conclusions And Recommendations.
7. Critical Slope Easement:
 - a. **Area:** The Critical Slope Easement restrictions set forth hereinbelow shall apply to those portions of each lot that are situated outside of the building envelope of each lot and has been identified as the buildable setback line.
 - b. **Restrictions:** The use of critical slope easement shall be restricted, except as set forth herein, the Critical Slope Easement Areas shall be used and occupied by the respective owners of the lots and their respective guests and invitees in accordance with the restrictions set forth hereinbelow. Such use will be restricted to foot traffic only. No paving, outbuilding, shed or temporary building of any kind shall be erected, constructed, permitted or maintained on, under, or within the Critical Slope Easement Areas. Furthermore, except as provided herein, the owner of the Lot upon which any of the Critical Slope Easement Areas are located shall not excavate, grade, fill, litter, dump or disturb the vegetation (except as is reasonably necessary when planting additional plants, shrubs, or trees) nor store materials upon, over, or across the Critical Slope Easement Areas. Soils excavated as part of the footing and foundation may be temporarily stored within the building envelope for the purposes of backfilling the foundation and the

remaining soil should be removed from the site and not deposited on critical slope easements.

- c. **MAINTENANCE** The respective owners of the Lots upon which any portion of the Critical Slope Easement Areas may be located shall be responsible for maintaining that portion of the Critical Slope Easement Areas which is located on their respective lots.
 - d. **EASEMENTS DEEMED CREATED** Any and all conveyances of any lot on which any portion of the Critical Slope Easement Areas outside of the applicable Building Envelope for each lot shall be construed to grant and reserve such Critical Slope Easement Areas as provided herein even though no specific reference to such easements appears in any such conveyance.
8. Public Utility Easements are as identified on the plat, including a 30' easement along the south boundary line of Lot 3. All front public utility easements shown hereon are 10.00 feet wide unless otherwise noted. All side public utility easements are 7 feet unless otherwise noted. No rear public utility easement is provided, nor within critical slope easement except as identified on the plat.
 9. Detention basins, along with storm drain mains and inlet boxes and storm drain manholes located within private roadways and lots shall be owned and maintained by _____.
 10. **DRIVEWAY SLOPES:** All driveways shall not exceed 10% grade
 11. **FLAG LOT: Lot 3** is an approved as a flag lot by conditional use permit by the Planning Commission on 7/9/2019. Flag lots are governed by City Code Section 10-7-8 and specifically requires the following:
 - a. The minimum width of staff shall be thirty feet (30').
 - b. Maximum length is one hundred fifty feet (150').
 - c. Dwelling must be oriented to the street
 - d. Each unit shall have both a "front" and "rear" yard on opposite sides of the unit; and
 - e. To protect the privacy of yard areas on neighboring properties, large windows and decks on the second floor shall not orient to adjacent, surrounding properties.
 - f. An asphalt or concrete driveway width minimum twenty feet (20') shall be provided with landscaping on each side. The access driveway shall have adequate drainage and shall be properly maintained on a continuous basis.
 - g. Fire protection:
 - i. Residential structures greater than one hundred fifty feet (150') from a public street must first be reviewed and approved by the fire marshal.
 - ii. No primary residential structure may be located more than five hundred feet (500') from a public street.
 - iii. An access road or driveway shall be provided which meets the following standards:
 1. An asphalt or concrete surface capable of supporting the imposed load of fire apparatus shall be provided and extended to within one hundred fifty feet (150') of all portions of the exterior walls of the first story of any building. (See 10-7-8) The access road or driveway shall be maintained by the property owner or possessor of the premises in good condition and repair and with adequate snow removal so as to provide free and uninhibited access by emergency service vehicles.
 2. The access road or driveway shall be a minimum of twenty feet (20') wide. Where such roadway is adjacent to required fire hydrants, the width shall be a minimum of twenty six feet (26') within twenty feet (20') in either direction from the hydrant.

3. A turnaround approved by the fire marshal shall be provided at the end of the access road or driveway.
 4. Each access road or driveway shall be identified and marked by the property owner to the satisfaction and approval of the fire marshal. Signs shall be posted near the entrances of access roadways and driveways. Signs shall be a minimum of twelve inches by eighteen inches (12" x 18") in two and one-half inch (2½") block lettering with one-half inch (½") stroke on a contrasting background. Signs shall read "No Parking - Fire Department Access Road".
 5. A fire hydrant shall be installed at the expense of the property owner and shall be connected by a six inch (6") water line from the water main. The hydrant shall be located to the satisfaction and approval of the fire marshal. Fire hydrants shall be located on all required access roads or driveways and shall be located within five feet (5') of the required access road or driveway.
 6. All dwelling structures shall have installed at the time of construction, and keep continuously maintained, a pressurized interior fire protection sprinkling system that complies with the minimum standards of the international fire code and is approved by the fire marshal.
- iv. All of the required improvements shall be installed at the property owner's expense.



IGES®

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Phone (801) 748-4044 | Fax (801) 748-4045
www.igesinc.com

Slope Stability Assessment (Revision 2)

Lake View Subdivision
824 Eaglepointe Drive
North Salt Lake, Utah
IGES Project No. 03254-002
December 4, 2020

Prepared for
Mr. Carl Rupp
1006 West Beardsley Place
Salt Lake City, Utah 84119

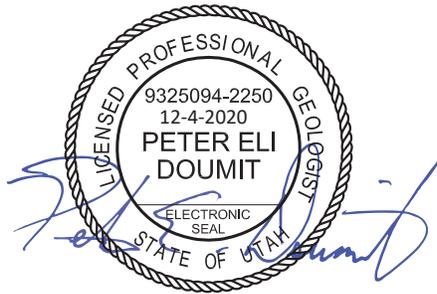


Slope Stability Assessment (Revision 2)
Lake View Subdivision
824 Eaglepointe Drive
North Salt Lake, Utah

IGES Project No. 03254-002

December 4, 2020

Prepared by:



Peter E. Doumit, P.G., C.P.G.
Senior Geologist



David A. Glass, P.E.
Senior Geotechnical Engineer

1.0 EXECUTIVE SUMMARY

This report presents the results of a slope stability assessment conducted for the proposed Lake View Subdivision, located at approximately 824 Eaglepointe Drive in North Salt Lake, Utah. Based on the surficial and subsurface conditions encountered across the proposed development, **it is our opinion that the major slope northwest of the property is currently stable under the existing conditions and the proposed development is not anticipated to be adversely impacted by geologic hazards, provided that the recommendations presented in this report are incorporated into the design and construction of the project.**

- In general, the property is underlain by a thin colluvial cover overlying a thick package of Lake Bonneville sand and gravel deposits, which in turn overlie pre-Lake Bonneville clay, gravel and sand, and marsh deposits. Drilling did not penetrate the full thickness of the marsh deposits, so the presence of weathered Norwood Formation materials underlying the marsh deposits across the property cannot be precluded.
- Two sonic exploratory borings were drilled as part of this assessment to depths of 152 feet and 162 feet below the existing grade, respectively. The borings were drilled with the intent to: 1) spot-check data collected from subsurface explorations excavated in previous geotechnical investigations by others on the property; 2) provide sound geologic, geotechnical, laboratory, and water level data for slope stability modeling; and 3) identify the depth to a potential landslide slide plane (if present, and assumed to be associated with weathered Norwood Formation bedrock).
- The data collected as part of this investigation indicates:
 - Weathered Norwood Formation materials were not encountered in the subsurface within the borings.
 - The contact between the Norwood Formation and Lake Bonneville sand and gravel deposits was observed on the slope behind the Eagle Ridge tennis courts at an elevation (approximately 4,984 msl) higher than the bottom of both sonic borings completed for this project (4,982.9 msl for LV-B-1 and 4,978.3 msl for LV-B-2).
 - Lake Bonneville highstand sand and gravel deposits extend to a depth of between 97 and 98.5 feet below existing grade, with pre-Bonneville highstand sediments extending to the boring total depths.
 - Organic material observed in the pre-Bonneville highstand clay-rich sediments, including tree branches and other vegetative debris, were radiocarbon dated to be Late Pleistocene-aged.
 - The weathered Norwood Formation is either not present beneath the property, or is deeper than 152 feet below existing grade. If present, the contact between

- these materials and the overlying Lake Bonneville highstand or pre-Bonneville highstand sediments is dipping back into the hillslope to the southeast.
- Groundwater level has remained relatively constant at around 80 feet below existing grade over the course of almost two months of monitoring.
 - The subsurface geologic model associated with the Lake View Subdivision property is different from the nearby Pace Lane Landslide model, likely due to localized differences in geologic contacts related to a variable depositional and preexisting geologic setting between the two locales. Therefore, both models are assumed to be correct when appropriately applied to the respective subject property.
 - The slope stability analysis indicates that the stability of the prominent slope to the northwest, with respect to the Lake View property, meets the minimum static and seismic factors of safety of 1.5 and 1.0, respectively, for both circular and non-circular modes of failure, with the establishment of a building setback of approximately 189 feet from the edge of the slope, which is approximately 65.4 feet from the northern property boundary for Lot 3 (see Figure A-9). The setback line reduces some of the buildable area for Lot 3, but does not preclude development on the rest of the lot and does not impact Lots 1 and 2. Hence, the Lake View Subdivision is considered safe for development from a slope stability perspective.

NOTE: The scope of services provided within this report are limited to the assessment of the subsurface conditions at the subject site. The executive summary is provided solely for purposes of overview and is not intended to replace the report of which it is part and should not be used separately from the report.

6.0 CONCLUSIONS AND RECOMMENDATIONS

6.1 CONCLUSIONS

Based upon the geologic reconnaissance of the project area and associated slope, a review of reports and data for the Lake View Subdivision property and nearby properties (largely relating to the nearby Pace Lane Landslide), the geologic conditions observed in the exploration borings, radiocarbon age dating results, and the results of the slope stability assessment, the property is considered suitable for development from a slope stability perspective, provided the recommendations presented herein are incorporated into the design and construction of the project.

From the geologic, geotechnical, and slope stability results discussed herein, the following conclusions are made regarding the slope stability of the subject property:

1. In general, the property is underlain by a thin colluvial cover overlying a thick package of Lake Bonneville sand and gravel deposits, which in turn overlie pre-Lake Bonneville highstand clay, gravel and sand, and marsh deposits. Drilling did not penetrate the full thickness of the marsh deposits, so the presence of weathered Norwood Formation materials underlying the marsh deposits across the property cannot be precluded.
2. Two sonic exploratory borings were drilled as part of this assessment to depths of 152 feet and 162 feet below the existing grade, respectively. The borings were drilled with the intent to: 1) spot-check data collected from subsurface explorations excavated in previous geotechnical investigations by others on the property; 2) provide sound geologic, geotechnical, laboratory, and water level data for slope stability modeling; and 3) identify the depth to a potential landslide slide plane (if present, and assumed to be associated with weathered Norwood Formation bedrock).
3. The data collected as part of this investigation indicates:
 - Weathered Norwood Formation materials were not encountered in the subsurface within the borings.
 - The contact between the Norwood Formation and Lake Bonneville sand and gravel deposits was observed on the slope behind the Eagle Ridge tennis courts at an elevation (approximately 4,984 msl) higher than the bottom of both sonic borings completed for this project (4,982.9 msl for LV-B-1 and 4,978.3 msl for LV-B-2).

- Lake Bonneville highstand sand and gravel deposits extend to a depth of between 97 and 98.5 feet below existing grade, with pre-Bonneville highstand sediments extending to the boring total depths.
 - Organic material observed in the pre-Bonneville highstand sediments, including tree branches and other vegetative debris, were radiocarbon dated to be Late Pleistocene-aged.
 - The weathered Norwood Formation is either not present beneath the property, or is deeper than 152 feet below existing grade. If present, the contact between these materials and the overlying Lake Bonneville highstand or pre-Bonneville highstand sediments is dipping back into the hillslope to the southeast.
 - Groundwater level has remained relatively constant at around 80 feet below existing grade over the course of almost two months of monitoring.
4. The subsurface geologic model associated with the Lake View Subdivision property is different from the nearby Pace Lane Landslide model, likely due to localized differences in geologic contacts related to a variable depositional and preexisting geologic setting between the two locales. Therefore, both models are assumed to be correct when appropriately applied to the respective subject property.
5. The slope stability analysis indicates that the stability of the prominent slope to the northwest, with respect to the Lake View property, meets the minimum static and seismic factors of safety of 1.5 and 1.0, respectively, for both circular and non-circular modes of failure with the establishment of a building setback of approximately 189 feet from the edge of the slope, which is approximately 65.4 feet from the northern property boundary for Lot 3 (see Figure A-9). The setback line reduces some of the buildable area for Lot 3, but does not preclude development on the rest of the lot and does not impact Lots 1 and 2. Hence, the Lake View subdivision is considered safe for development from a slope stability perspective.

6.2 RECOMMENDATIONS

Given the findings of this slope stability assessment, IGES recommends the following:

1. We recommend that any habitable structures be setback from the edge of the slope a minimum distance as defined by the structural setback line as designated on Figure A-9. This structural setback is only applicable to Lot 3.

2. Avoidance of the addition of structural fill to the hillslope. Site grading plans should utilize the removal of native materials from the ridges and replacement of these materials into the relict drainages rather than the introduction of imported structural fill. Grading of the subdivision should be completed in such a way as to 'balance' the site and not increase destabilizing forces (e.g. placing large amounts of fill near the crest of the slope).
3. It is recommended that the landscaping for this development have positive drainage and no areas where the ponding of water can take place. If an area of ponded water is desired (e.g., for a landscaping feature or pool), it is recommended that the pond or pool be lined so as to minimize the amount of water introduced into the subsurface. Landscaping that requires intensive watering (e.g., hydrophilic plants) should be avoided or minimized.
4. It is critical to minimize the introduction of water into the subsurface to limit the potential for the activation of new landslides. On-site sewage or storm-drain disposal should not be allowed.
5. IGES should provide a final grading plan review to evaluate if the proposed grading conforms to the recommendations provided in this report.

7.0 CLOSURE

7.1 LIMITATIONS

The concept of risk is a significant consideration of geotechnical analyses. The analytical means and methods used in performing geotechnical analyses and development of resulting recommendations do not constitute an exact science. Analytical tools used by geotechnical engineers are based on limited data, empirical correlations, engineering judgment and experience. As such the solutions and resulting recommendations presented in this report cannot be considered risk-free and constitute IGES's best professional opinions and recommendations based on the available data and other design information available at the time they were developed. IGES has developed the preceding analyses, recommendations and designs, at a minimum, in accordance with generally accepted professional geotechnical engineering practices and care being exercised in the project area at the time our services were performed. No warranties, guarantees or other representations are made.

The information contained in this report is based on limited field testing and understanding of the project. The subsurface data used in the preparation of this report were obtained largely from the explorations made for the Lake View Subdivision project. It is very likely that variations in the soil, rock, and groundwater conditions exist between and beyond the points explored. The nature and extent of the variations may not be evident until construction occurs and/or additional explorations are completed. If any conditions are encountered at this site that are different from those described in this report, IGES must be immediately notified so that we may make any necessary revisions to recommendations presented in this report. In addition, if the scope of the proposed construction or grading changes from those described in this report, our firm must also be notified.

This report was prepared for our client's exclusive use on the project identified in the foregoing. Use of the data, recommendations or design information contained herein for any other project or development of the site not as specifically described in this report is at the user's sole risk and without the approval of IGES, Inc. It is the client's responsibility to see that all parties to the project including the designer, contractor, subcontractors, etc. are made aware of this report in its entirety. The use of information contained in this report for bidding purposes should be done at the contractor's option and risk.

We recommend that IGES be retained to review the final design plans, grading plans and specifications to determine if our engineering recommendations have been properly incorporated in the project development documents. We also recommend that IGES be

retained to evaluate construction performance and other geotechnical aspects of the project as construction initiates and progresses through its completion.

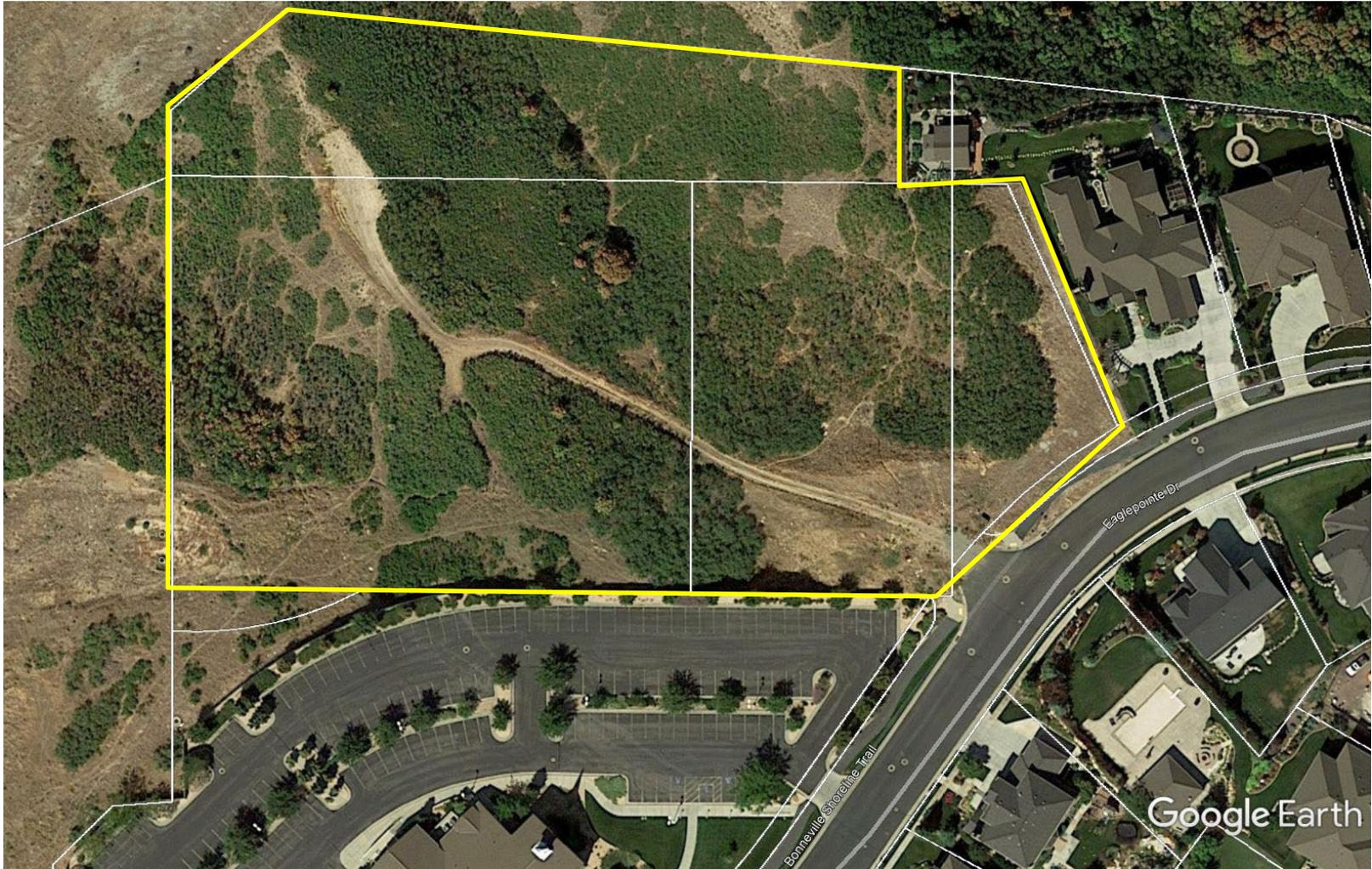


Preliminary Plan & Final Plat Rupp PUD Subdivision Zoning





Preliminary Plan & Final Plat Rupp PUD Subdivision Aerial





CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission
FROM: Sherrie Pace, Community Development Director
DATE: March 23, 2021
SUBJECT: Consideration of a General Development Plan amendment for Williamsburg Luxury Apartments located at approximately 256 South Highway 89

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the General Development Plan for Williamsburg Luxury Apartments subject to the following conditions:

1. The sidewalk and park strip on Highway 89 be continued to the future intersection at Eagle Gate Drive;
2. A full site plan which meets the layout and setbacks as presented is submitted for approval;
3. The development agreement be amended and approved by the City Council to increase the total unit count to 246, a minimum parking ratio of 1.8 spaces per unit and a requirement that 1 parking space per unit be provided for each unit, which space may not be unbundled and rented separately.

BACKGROUND

The City Council approved the General Development Plan for Williamsburg Luxury Apartments on October 2, 2018. The plan was amended in January of 2019 with a change of architecture. Since that time Castlewood Development has entered into a purchase agreement with the current owners for the project. The new owners were responsible for the demolition and removal of the dilapidated structures that were on the property, as part of their purchase agreement.

The General Development Plan was approved for a total of 214 units in 4 buildings (4 story) with one building being mixed use and containing 10,444 sq. ft. of retail. The developer would like to amend the plan with 3 apartment buildings, one 5 story and two 4 story buildings each with an additional pedestal level of parking. The commercial/retail use would no longer be within a mixed use building and instead is proposed to be a stand-alone structure.

REVIEW

Castlewood Development is requesting the following changes to plan and the development agreement:

1. Increase the number of dwelling units from 214 to 246 an increase of 32 units
2. Un-mix the residential and commercial land uses
3. Increase the maximum height for Building A (5 story + pedestal)
4. Reduce the front setback for Building B from 27 feet from new curb to 25 feet
5. Reduction in parking ratio from 1.94 spaces per unit to 1.81 spaces per unit

The developer has requested an increase in unit count from 214 to 246. The approved density on the 5.91 acre parcel is 36.2 units/acre. The requested density 41.6 units/acre. The biggest concern raised by the increase of units is parking. The DRC requiring that each unit be provided 1 covered space assigned to it and that this parking is not unbundled from the tenant leases. Unbundling all parking creates the situation similar to Eaglewood Lofts where residents don't want to pay extra to have an assigned space, and instead choose to park on Orchard Drive. The Planning Commission and City Council will need to make a determination on the increased density and decreased parking ratio as requested.

The previous approval set the parking rate at 1.5 spaces per 1 bedroom unit and 2 spaces per 2-3 bedroom unit. The developer is proposing that the 1.5 spaces per unit be applied to all 246 proposed units. Additionally the addition of the underground parking (original concept) to each building and some reconfiguration of the layout, the proposal provides 445 spaces. If the ratio decrease is approved and the same parking is assumed for the commercial use (30) spaces, the development has 14 additional spaces for commercial. When considering programming of the commercial building with a restaurant and office space the additional 14 spaces would be allocated to the commercial use. Each units is required to have one cover parking space assigned to it (cannot be unbundled). Those spaces are achieved in the underground parking and separate garages.

2018 Approval				2018 Ratio Applied to Unit Increase Proposal				2021 Requested Amendment				
Units	2018	Parking Ratio		Units	2021	Parking Ratio		Units	2021	Parking Ratio		
1 bdrm	81	1.5	122	1 bdrm	114	1.5	171	1 bdrm	114	1.5	171	
2 bdrm	110	2	220	2 bdrm	109	2	218	2 bdrm	109	1.5	163.5	
3 bdrm	23	2	46	3 bdrm	23	2	46	3 bdrm	23	1.5	34.5	
Guest	214	0.25	54	Guest	246	0.25	62	Guest	246	0.25	62	
Retail				Retail				Retail			Rest /Off	
Street Level	10,444	1/200 (0.65)	34	Street Level	4,700	1/200 (0.65)	15	Street Level	4,700	1/200 (0.65)	15	31
	0			2nd Level	4700	1/200 (0.65)	15	2nd Level	4700	1/250 (0.65)	15	12
Shared Parking			-34	Shared Parking			-30	Shared Parking			-30	-30
Total Parking	Requirement		441	Total Parking	Requirement		497	Total Parking	Requirement		431	444
		Total Provided	415			Total Provided	447			Total Provided	445	
		Deficit	26			Deficit	50			Deficit	0	

		Overall Ratio	1.94				Overall Ratio	1.82				Overall Ratio	1.81	
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Previously the development agreement required a fence along the front property line. The DRC has discussed recommending a change that would eliminate the fence along the front property line and instead would extend the public sidewalk and park strip to the intersection with Eaglegate Dr. City staff and the developer are approaching UDOT regarding the second access and hope to have this resolved prior to final site plan approval. A condition of approval will require the submission of a full site plan review including all infrastructure improvements.

The proposed architecture is similar in design and colors as the previous design. The DRC has no objection to the proposed architecture. The DRC does recommend that Building A have a more prominent pedestrian entry near the new bus shelter. The remainder of the site is similar in layout and use as the previous approval. The elevations for the commercial building show signage for Chile Amor, to that end the developer is working with the owners of the restaurant regarding relocating, but have not yet reached an agreement.

POSSIBLE MOTION

I move that the Planning Commission recommend approval to the City Council of the General Development Plan for Williamsburg Luxury Apartments subject to the following conditions:

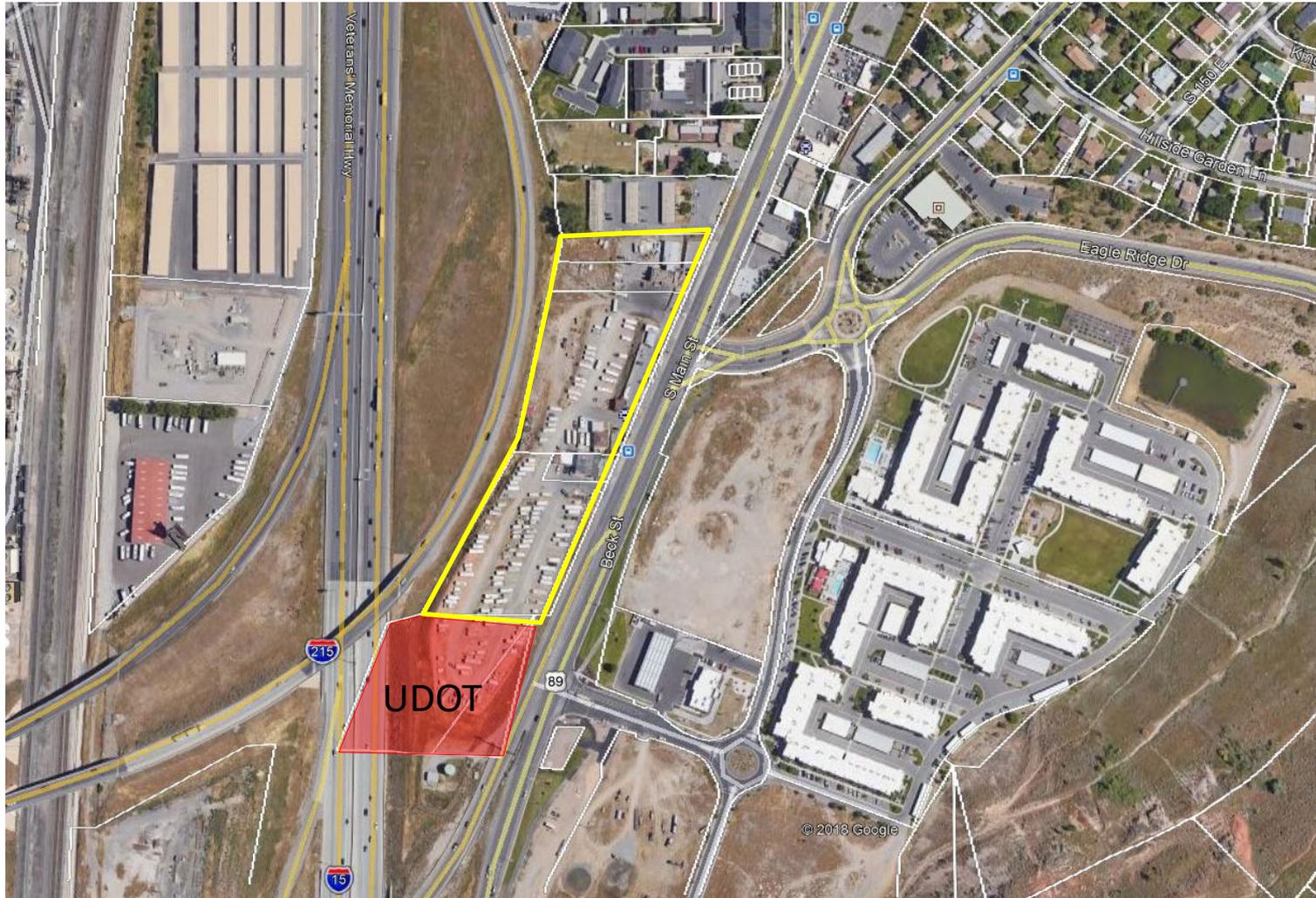
1. The sidewalk and park strip on Highway 89 be continued to the future intersection at Eaglegate Drive;
2. A full site plan which meets the layout and setbacks as presented is submitted for approval;
3. The development agreement be amended and approved by the City Council to increase the total unit count to 246, a minimum parking ratio of 1.8 spaces per unit and a requirement that 1 parking space per unit be provided for each unit, which space may not be unbundled and rented separately.

Attachments

- 1) Aerial/Zone Map
- 2) Proposed amended General Development Plan
- 3) Building Elevations

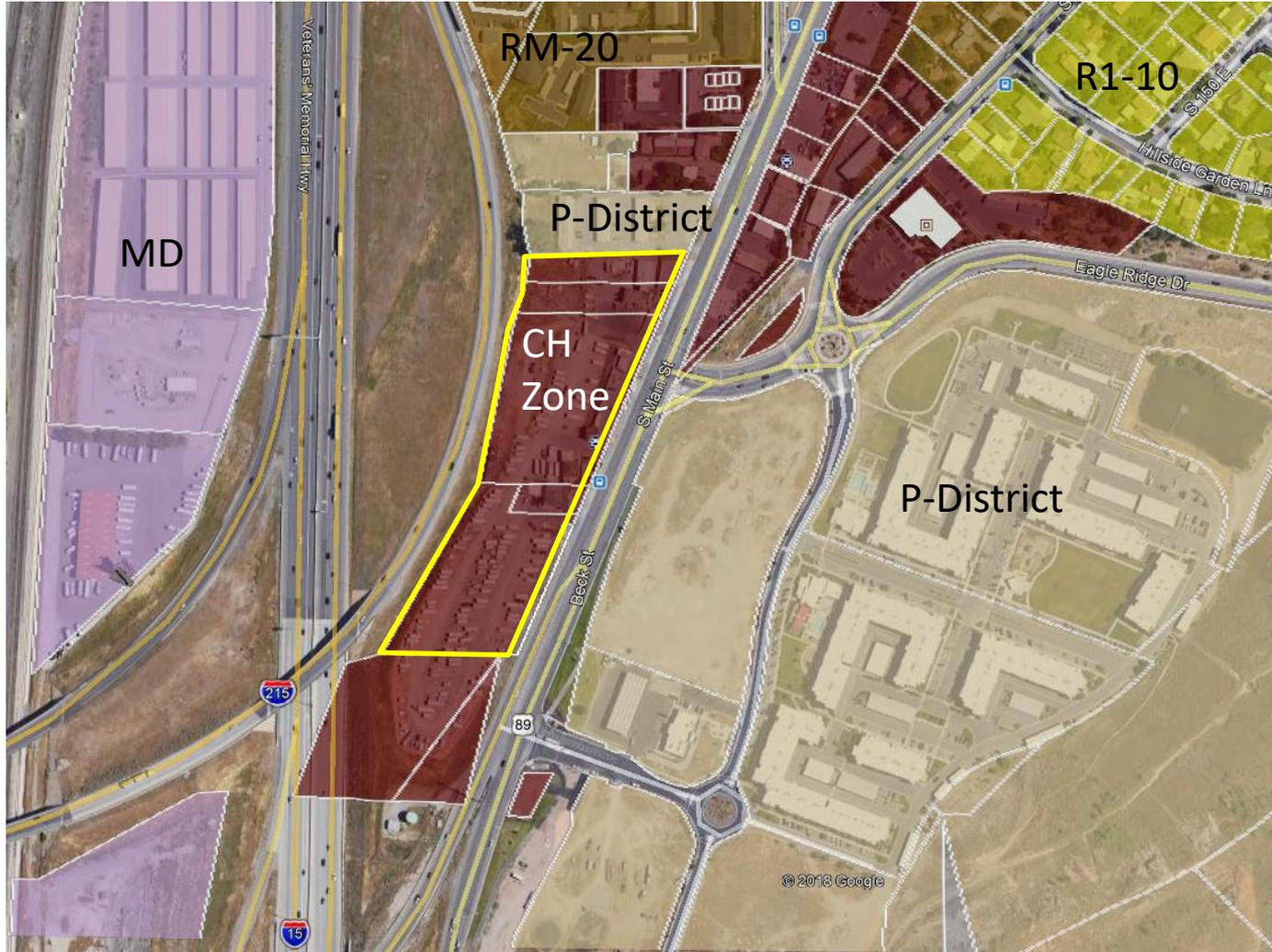


Amended General Development Plan Williamsburg Luxury Apartments– 256 South Highway 89 Aerial





Amended General Development Plan Williamsburg Luxury Apartments– 256 South Highway 89 Zoning



- Special Use Restricted (SR)
- Residential (RM-7)
- Residential (RM-20)
- Residential (R1-7)
- Residential (R1-12)
- Residential (R1-10)
- Natural Open Space (NOS)
- General Industrial (MG)
- Manufacturing-Distribution (MD)
- Existing Uses Overlay (EUO)
- Commercial Shopping (CS)
- Highway Commercial (CH)
- General Commercial (CG)
- Planned District (P)



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

BUILDING A



EAST ELEVATION



SOUTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

BUILDING B



-  ASPHALT SHINGLE
-  CEMENT BOARD FLAT PANEL SIDING WITH BATTENS - PAINTED
-  DARK BRONZE PARAPET CAP
-  LIGHT STUCCO
-  MEDIUM STUCCO
-  WROUGHT IRON RAILING - DARK BRONZE
-  ALUMINUM STOREFRONT WINDOW - DARK BRONZE
-  BRICK VENEER
-  BRONZE VINYL WINDOWS
-  METAL FACIA AND SOFFIT BALCONY

MATERIALS



SOUTH ELEVATION



WEST ELEVATION

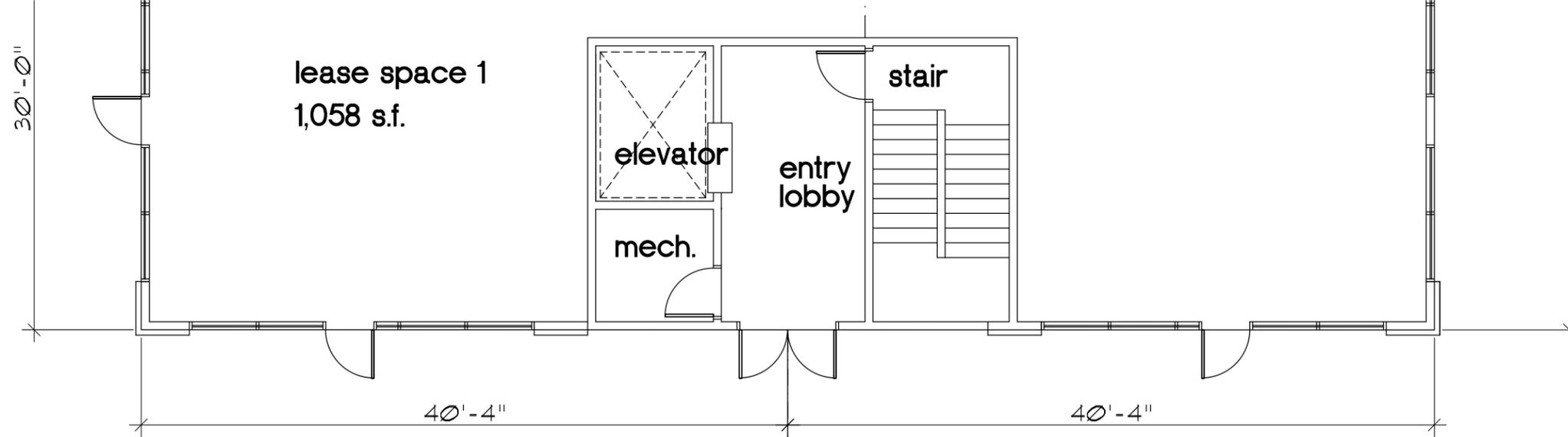


SOUTH ELEVATION



NORTH ELEVATION

CLUBHOUSE



commercial bldg – main floor

SCALE: 1/8" = 1'-0"



commercial bldg – east elevation

SCALE: 1/8" = 1'-0"



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission
FROM: Sherrie Pace, Community Development Director
DATE: March 23, 2021
SUBJECT: Consideration of Final Plat approval for Silver Sky Lofts (formerly Sunview Village) located at 212 North Highway 89

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the rezone request from Ch to P-District for Silver Sky Lofts and preliminary plan located at 212 North Highway 89, with the following conditions:

1. Addition of a 6x8 concrete pad (2% slope or less) in the park strip at the bus stop location to meet ADA access requirements;
2. Any outstanding engineering redlines.

BACKGROUND

The preliminary plan was recommended for approval on December 12, 2020 and approved by the City Council on December 19, 2020 with the following conditions:

- 1) The private road right of way shall be continued the full width to the east property line providing a pedestrian and vehicular cross easement on behalf of the property to the east; and
- 2) The landscape within in the park strip along Highway 89 will be verified to be salt tolerant.

The property is a total of approximately 1.05 acres currently zoned CH with an approved P-District. The general development plan for Sunview Village was recommended for approval by the Planning Commission on August 28, 2018 and approved by the City Council on September 4, 2018. The approval included the concept plan for 13 town home units, to be sold for owner occupancy.

REVIEW

Subdivisions under city code and state statute are administrative actions. State code and case law require that if the proposed subdivision meets the minimum standards required by code, the application must be approved. Subdivisions in general and PUD's more specifically are conditional uses in the city code. State code and case law state that conditional uses are permitted uses with conditions. Therefore if the development meets the minimum standards and reasonable conditions can be used to mitigate impacts of the development on the community, it also must be approved. The steps for approving a PUD

development are recommendation to the City Council in 3 steps, Concept Plan, Preliminary Plan, and Final Plat.

Since Preliminary Plan review the DRC has received information from UTA that additional right of way will be needed for future BRT. An additional 10 feet has been requested and the buildings have all been moved 10 feet to the east. This change allows the units in the first building to meet the minimum 18' driveway length. Staff has also been notified that the bus stop needs to be improved with a concrete pad in the park strip. The concrete must be poured at a slope no greater than 2% in order for the bus wheel chair ramp to deploy correctly and safely.

The final plat have been reviewed by the DRC and have been recommended for final plat approval. The only outstanding issue relates to the completed design of the water tank and pump house. The plat has not been reviewed by the City Engineer to determine if all redlines have been corrected, therefore the DRC has recommended a condition regarding any outstanding engineering redlines be address, if any.

POSSIBLE MOTION

I move that the Planning Commission recommend to the City Council approval of the requested final plat with the following conditions:

1. Addition of a 6x8 concrete pad (2% slope or less) in the park strip at the bus stop location to meet ADA access requirements;
2. Any outstanding engineering redlines (if any) be addressed, prior to final plat recordation.

Attachments:

- 1) Aerial/Zoning Map
- 2) Final Plat



Silver Sky Lofts 212 North Highway 89 Aerial/Zoning

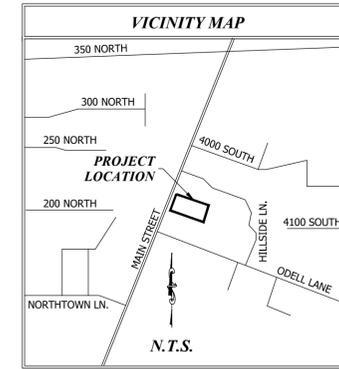


REVIEW COPY

SILVER SKY LLC P.U.D.

LOCATED IN THE SW 1/4 OF SECTION 1, T.1N., R.1W., S.L.B.&M. NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH JANUARY 2021

WW ASSOCIATES INC. TAX PARCEL# 01-047-0329



SURVEYOR'S CERTIFICATE

I, JEREMIAH R. CUNNINGHAM, A REGISTERED LAND SURVEYOR HOLDING CERTIFICATE NO. 9182497 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, AND EMPLOYED BY ENTELLUS, INC., LOCATED AT 1470 SOUTH 600 WEST, WOODS CROSS, UTAH (PHONE # 801-298-2236), DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HERewith AND PURSUANT TO SAID TRACT OF LAND HEREFTER TO BE KNOWN AS "SILVER SKY LLC P.U.D.", AND THAT THE SAME HAS BEEN SURVEYED AS SHOWN ON THIS PLAT AND THAT RECORD OF SURVEY S2013-07-0252 HAS BEEN FILLED IN THE OFFICE OF THE COUNTY SURVEYOR.

REVIEW COPY

JEREMIAH R. CUNNINGHAM, UT #9182497

BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE EAST LINE OF A HIGHWAY WHICH POINT IS SOUTH 89°54'24" WEST 2542.43 FEET ALONG THE SECTION LINE AND NORTH 21°49'45" EAST 1415.94 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 21°49'45" EAST ALONG SAID HIGHWAY 105.38 FEET; THENCE SOUTH 70°37'18" EAST 328.70 FEET; THENCE SOUTH 33°42'46" WEST 131.04 FEET; THENCE SOUTH 20°05'29" WEST 51.97 FEET; THENCE NORTH 69°05'16" WEST 164.91 FEET; THENCE NORTH 23°29'29" EAST 57.82 FEET; THENCE NORTH 65°52'45" WEST 139.89 FEET TO THE POINT OF BEGINNING, CONTAINING 1.054 ACRES.

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO PRIVATE UNITS, LIMITED COMMON SPACE, AND COMMON SPACE, HEREAFTER TO BE KNOWN AS SILVER SKY LLC P.U.D., DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. AND DO WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS.

SIGNED THIS _____ DAY OF _____, 20____.

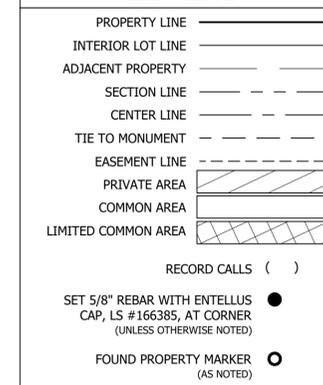
DEBBIE OLSEN, TRUSTEE OF THE DEBBIE OLSEN TRUST DATED OCTOBER 7, 2008 BENNY G. OLSEN, TRUSTEE OF THE DEBBIE OLSEN TRUST DATED OCTOBER 7, 2008

TRUST ACKNOWLEDGMENT

ON THE _____ DAY OF _____, 20____ THERE PERSONALLY APPEARED BEFORE ME DEBBIE OLSEN AND BENNY G. OLSEN, TRUSTEE OF THE DEBBIE OLSEN TRUST DATED OCTOBER 7, 2008, WHO BEING DULY SWORN, DID SAY THAT HE/SHE IS A TRUSTEE OF SAID TRUST AND THAT THE FOREGOING INSTRUMENT WAS SIGNED ON BEHALF OF SAID TRUST AND THAT IT IS WITHIN THE TRUSTEE'S AUTHORITY TO EXECUTE THE SAME.

NOTARY PUBLIC: _____ RESIDENCE: _____ MY COMMISSION EXPIRES: _____

LEGEND



U.S. HIGHWAY 89 (MP-385.5)

P.O.B.

Table with 2 columns: UNIT #, ADDRESS. Lists units 1 through 13 with their respective addresses.

LINE TABLE with columns: LINE, BEARING, LENGTH. Lists lines L1 through L12 with their bearings and lengths.

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, Δ, CH BEARING, CH LENGTH. Lists curves C1, C2, and C3 with their respective data.

MELT PROPERTIES TAX PARCEL# 01-047-0343

EDWARD A IKWUAZOH TAX PARCEL# 01-047-0251 & 01-047-0251

RANDALL S NIELSEN & KRISTIN I SMITH TAX PARCEL# 01-047-0397

ASSOCIATION OF UNIT OWNERS OF HILLSIDE LANE PUD TAX PARCEL# 01-329-0018

JAY WISEMAN TAX PARCEL# 01-047-0395

SW COR., SECTION 1, T.1N., R.1W., S.L.B.&M.; FOUND D.C.S. MONUMENT

S89° 54' 24" W 2542.43' BASIS OF BEARING - SECTION LINE

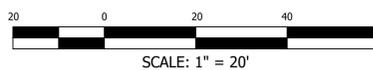
SOUTH 1/4 COR., SECTION 1, T.1N., R.1W., S.L.B.&M.; FOUND D.C.S. MONUMENT

NOTES

- 1. COMMON AND LIMITED COMMON AREAS ARE ALSO PUBLIC UTILITY EASEMENTS (P.U.E.).
2. PUBLIC UTILITY EASEMENTS ARE ALSO DRAINAGE EASEMENTS.
3. LIMITED COMMON AREAS CORRESPOND TO THEIR ADJOINING UNITS.
4. THE MEASURED STATE PLANE BEARING ALONG THE BASIS OF BEARING IS NORTH 89° 45' 26" WEST (DAVIS COUNTY SURVEYOR), CALCULATED USING NAD 1983 STATE PLACE COORDINATES IN THE UTAH NORTH ZONE.

Client: Foresight Contact: Ben Olsen Phone #: 801-971-5757 Address: PO BOX 1594 Email: bolsen@foresightutah.com

REVIEW COPY



Entellus logo and contact information: 1470 South 600 West Woods Cross, UT 84010 Phone 801.298.2236 www.Entellus.com

NORTH SALT LAKE CITY COUNCIL PRESENTED TO THE CITY COUNCIL OF NORTH SALT LAKE CITY, UTAH THIS _____ DAY OF _____, 20____ AT WHICH TIME THIS PROJECT WAS APPROVED AND ACCEPTED. CITY RECORDER ATTEST: _____ MAYOR: _____

NORTH SALT LAKE CITY ENGINEER RECOMMENDED FOR APPROVAL ON THIS _____ DAY OF _____, 20____. NORTH SALT LAKE CITY ENGINEER

NORTH SALT LAKE CITY ATTORNEY RECOMMENDED FOR APPROVAL ON THIS _____ DAY OF _____, 20____. NORTH SALT LAKE CITY ATTORNEY

NORTH SALT LAKE CITY PLANNING COMMISSION RECOMMENDED FOR APPROVAL ON THIS _____ DAY OF _____, 20____. CHAIRMAN

DAVIS COUNTY RECORDER ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 20____, AT _____ IN BOOK _____ PAGE _____ COUNTY RECORDER _____ BY _____ DEPUTY



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission

FROM: Sherrie Pace, Community Development Director

DATE: March 23, 2021

SUBJECT: Final Plat-Eaglewood Cove P.U.D. Subdivision, phase 13

RECOMMENDATION

The Development Review Committee has reviewed the Final Plat and finds that it meets the minimum standards for preliminary plan approval with the following conditions:

1. Any remaining engineering redline corrections, specifically the water tank and pump house construction drawings, be completed prior to recordation of final plat.

BACKGROUND

The previously approved concept plan for Eaglewood Cove Phases 13-15 consisted of 75 lots east of the existing phases of Eaglewood Cove development. The concept plan was approved by the City Council on July 19, 2016. Since that approval the developer has been conducting an extensive Geological Hazards Investigation of the property leading to numerous changes in layout design and a reduction from 75 lots to 72 lots. The proposed development is divided into three phases, 13, 14, and 15. Preliminary Plan approval was granted on November 10, 2020 with a condition that sidewalks be added to one side of each street. That correction has been made. The subdivision will also be a planned unit development (PUD) subdivision to provide for common ownership of the private street, the HOA maintained storm water detention facilities, and for architectural review prior to building permits.

The developer of this project has been working with the City geologic consultants to address the requirements of the 2016 geologic hazards ordinance. Under the ordinance, geotechnical reports are to be submitted prior Preliminary Plan. The full geologic hazard study has been completed and reviewed and has been approved by the city geotech consultant. Conditions specific to each lot regarding requirements of construction have been noted on the plat and are listed in the approved report.

A conditional use permit was approved by the Planning Commission for the proposed flag lots in the development on July 12, 2016. The exception to cul-de-sac length was approved as part of the concept plan approval. Previously the fire district had required that the homes on the loop road be fire sprinkled

or the road widened, since that time the number of lots on the loop road has been reduced to less than 30 and the requested restriction is no longer necessary.

REVIEW

Subdivisions under city code and state statute are administrative actions. State code and case law require that if the proposed subdivision meets the minimum standards required by code, the application must be approved. Subdivisions in general and PUD's more specifically are conditional uses in the city code. State code and case law state that conditional uses are permitted uses with conditions. Therefore if the development meets the minimum standards and reasonable conditions can be used to mitigate impacts of the development on the community, it also must be approved. The steps for approving a PUD development are recommendation to the City Council in 3 steps, Concept Plan, Preliminary Plan, and Final Plat.

The development is divided into 3 plats, plat 13 is 52.7 acres and contains 39 lots with lot sizes varying from 0.60 acres to 6.34 acres. The final plat have been reviewed by the DRC and have been recommended for final plat approval. The only outstanding issue relates to the completed design of the water tank and pump house. The designs are 80% complete and the developers engineer is working with the engineering staff to complete the design.

POSSIBLE MOTION(S)

I move that the Planning Commission recommend to the City Council the approval of the proposed final plat for Eaglewood Cove Subdivision, phase 13 located at approximately 600 South Tanglewood Loop, subject to the following findings and conditions:

Findings:

1. The proposed final plat meets the minimum standards of the land use code for final plat approval;
2. The proposed layout minimizes the necessary cuts and fills and provides an efficient design;
3. The exception to maximum length of a cul-de-sac is warranted based upon the following:
 - i. Physical conditions exist which preclude the ability to establish any other means of access, namely topography.
 - ii. Construction of a through street will result in undesired cuts and fills, affecting natural drainage patterns and existing vegetation
 - iii. The exception has received favorable recommendation from the Fire District and Development Review Committee
4. The geotechnical report has been approved by the city consultant and the plat has been designed to meet the specific standards and recommendations contained therein;
5. The plat contains the appropriate notes regarding the individual lots and requirements of the geotechnical report.

Conditions:

1. Any remaining engineering redline corrections, specifically the water tank and pump house construction drawings, be completed prior to recordation of final plat.

Attachments:

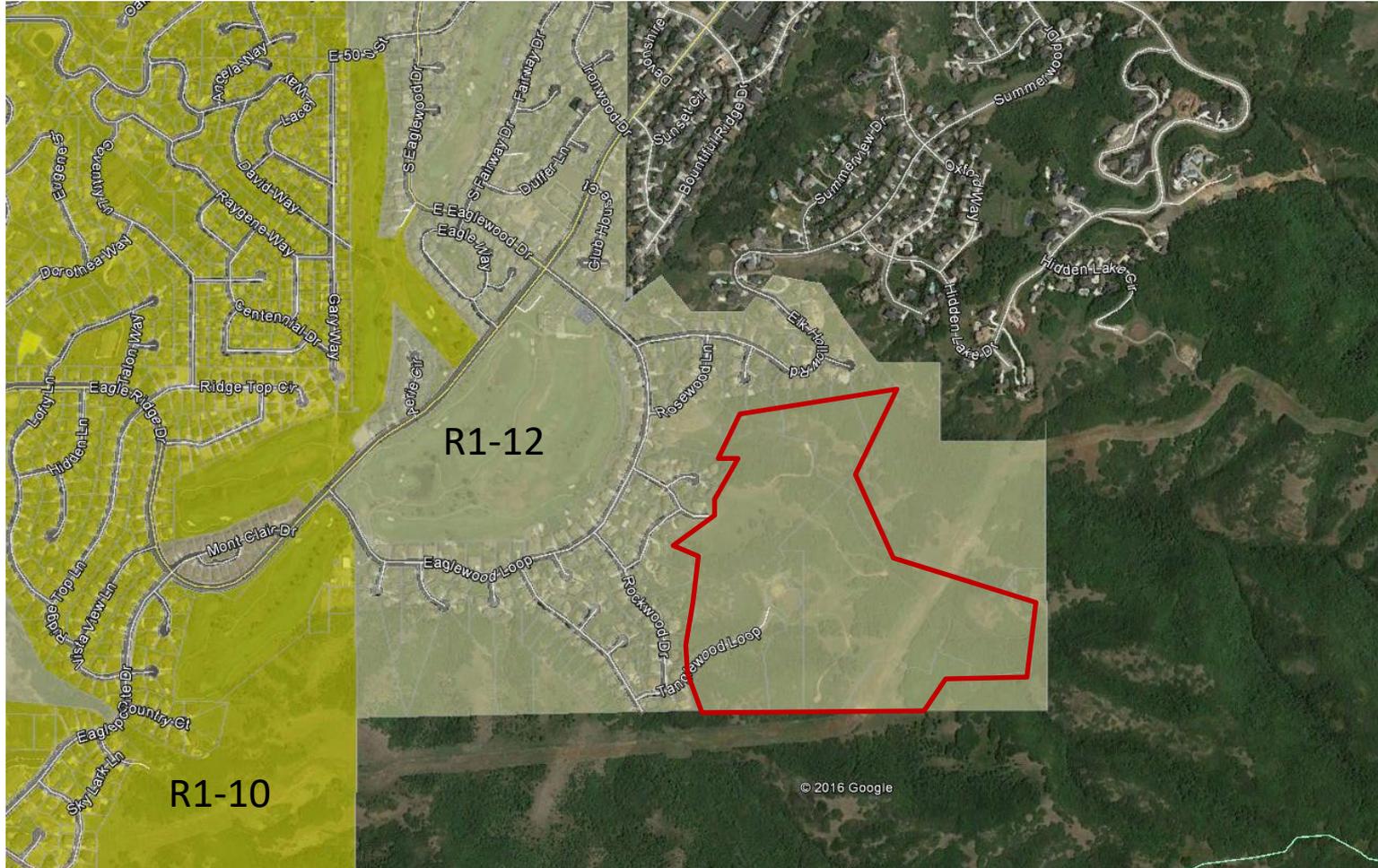
1. Aerial/Zoning Maps
2. Final Plat



Final Plat

Eaglewood Cove Ph. 13- 600 South Tanglewood Loop

Aerial



NOTES

- 1.) All un-fenced property corners will be set with a 5/8" rebar and plastic cap stamped "Bingham Eng." a rivet or carved "X" where the property corner is in concrete or asphalt.
2.) Private roadways (44' wide right-of-way, sidewalk one side only) shall be covered by a blanket easement for private and public utilities. Said easement shall be created by this reference.
3.) Private roadways shall have an access easement across it to allow access to adjoining private parcels. Said easement shall be created by this reference.
4.) Private roadways shall be owned and maintained by the Eaglewood Cove Homeowners Association.
5.) All front and rear public utility easements shown hereon are 10.00 feet wide unless otherwise noted. All side public utility easements are 7 feet unless otherwise noted.
6.) The plat coordinates shown hereon are based on the datum of the Davis County Surveyor. Record bearings, distances and coordinate values are shown in brackets []. All other dimensions and coordinate values are measured. Bearings and distances shown in () are easement dimensions. Bearings and distances shown in < > are buildable area dimensions.
7.) Approval of this development plat by North Salt Lake City does not constitute any representation as to the adequacy of subsurface soil condition or the location or depth of groundwater tables.
8.) Street lights on private streets within the P.U.D. shall be operated and maintained by the Eaglewood Cove Homeowners Association.
9.) Detention basins, along with storm drain mains, inlet boxes, and storm drain manholes located within private roadways and lots shall be owned and maintained by the Eaglewood Cove Homeowners Association.
10.) Development on corner lots within this plat shall conform to the City's adopted clear vision requirements found in Section 10-1-31, City Code.
11.) All lots are deemed restricted lots and governed according to Title 10, Chapter 12 of the North Salt Lake City Code.
12.) Fire Sprinkling
a.) Due to slope of the streets, South Davis Metro Fire shall require that homes on Lots 1301-1303 and 1335-1339 shall be fire sprinkled.
b.) Due to the required fire flow capacity and the fixed culinary tank size for the development (300,000 gallons), structures greater than 10,000 sq. ft. shall be required to be fire sprinkled.
13.) Ownership of Parcels B and C is hereby dedicated to the Eaglewood Cove Homeowners Association. Parcels B and C are covered by a storm drainage easement in their entirety.
14.) BUILDING ENVELOPES: All homes and structures shall be contained within the building envelopes as specified on the plat. Approval of accessory structures outside the building envelope shall only be permitted on slopes less than 30% within the required setbacks for the zone. Lot grading outside of the designated building envelopes shall not be allowed to modify the natural grade for the purposes of meeting this requirement. Adjustments to the building envelope up to 10% may be approved by the Community Development Director with the advice of the City Engineer and a finding that requested modification is warranted by environmental features, site conditions, location of existing improvements, architecture or sustainability consideration, or retention of native vegetation and slope. For purposes of this restriction accessory structures shall not include mechanical equipment or systems necessary for the operation of permitted private recreational uses, such as ski or sledding tow rope motors and pulleys, which may be constructed in areas greater than 30% slope.
15.) CRITICAL SLOPE EASEMENT DESCRIPTION
a.) AREA OF APPLICATION The Critical Slope Easement restrictions set forth hereinbelow shall apply to those portions of each lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%). Said portions of the lot that are situated outside of the building envelope of each lot and the slope of which is in excess of thirty percent (30%) shall be collectively referred to as the "Critical Slope Easement Areas". A detailed site plan is required to be submitted for review by North Salt Lake City pursuant to the issuance of the building permit for each lot. The site plan shall contain existing grade and proposed final grading and shall clearly identify those areas of the respective lot that are situated outside of the building envelope that have slopes in excess of thirty percent (30%).
b.) UTILITY EASEMENTS IN CRITICAL SLOPE EASEMENT AREAS There is reserved unto North Salt Lake City and any public utility company or private utility, easements within the Critical Slope Easement Areas for the installation, construction, maintenance, repair, and replacement of any utility services and utility lines which serve the Subdivision.
c.) RESTRICTIONS ON USE OF CRITICAL SLOPE EASEMENT AREAS Except as set forth herein, the Critical Slope Easement Areas shall be used and occupied by the respective owners of the lots and their respective guests and invitees in accordance with the restrictions set forth hereinbelow. Such use will be restricted to foot traffic only. No paving, outbuilding, shed or temporary building of any kind shall be erected, constructed, permitted or maintained on, under, or within the Critical Slope Easement Areas. Furthermore, except as provided herein, the owner of the Lot upon which any of the Critical Slope Easement Areas are located shall not excavate, grade, fill, litter, dump or disturb the vegetation (except as is reasonably necessary when planting additional plants, shrubs, or trees) nor store materials upon, over, or across the Critical Slope Easement Areas. Soils excavated as part of the footing and foundation may be temporarily stored within the building envelope for the purposes of backfilling the foundation and the remaining soil should be removed from the site or incorporated in landscaping and not deposited on critical slope easements. The owners of the Lots may plant additional plants, shrubs, and trees upon the Critical Slope Easement Areas including limited excavation and irrigation that is reasonably necessary to plant any such plants, shrubs, and trees. Excavation will be limited to hand digging and the use of a small trencher for irrigation purposes.
d.) PRIVATE RECREATIONAL USES. The owners of the Lots may request a land use permit from the Community Development Department for construction of accessory structures or land uses outside of the building envelope for the purposes of private recreational (non-commercial) use under the following restrictions:
i.) Submittal of a survey, prepared by a licensed surveyor, demonstrating the slope of the area where an accessory structure is to be placed has a slope less than 30%.
ii.) The property owner has demonstrated that the construction for the land use can be completed in a manner which protects and preserves the native vegetation; or minimizes disturbing vegetation and an appropriate restoration bond is submitted equal to the estimated restoration costs.
iii.) Construction of structures shall be limited to a maximum one structure 200 sq. ft. or less, and a maximum height of 14' to the top of roof. Accessory dwelling units and garages shall not be permitted outside the building envelope, unless they are directly adjacent to the building envelope.
iv.) Land use permits shall be accompanied by a letter from the HOA acknowledging their approval and conditions for the structure and land use requested.
v.) Structures shall be designed and use similar materials of the main structure on the property or shall be designed to blend into the natural environment.
vi.) Examples of appropriate land uses outside the building envelope are: private recreational picnic areas, small pavilions, gazebos, trails, gardens and garden sheds, sports courts (200 sq. ft. or less), etc. Land uses such as private ski or sledding runs which require the use of motorized tow ropes, may only be permitted with mechanical systems that are contained entirely within an accessory structure or cabinet, and are constructed to reduce or dampen noise from the tow motor. Operation of a tow rope shall only be permitted during daytime hours. No lighting of the runs is permitted.
e.) DEVELOPER The foregoing notwithstanding, said restrictions upon excavation, grading, and filling shall not apply to grading and filling performed by the developer of the Lots in accordance with an approved development grading plan.
f.) MAINTENANCE The respective owners of the Lots upon which any portion of the Critical Slope Easement Areas may be located shall be responsible for maintaining that portion of the Critical Slope Easement Areas which is located on their respective lots.
g.) EASEMENTS DEEMED CREATED Any and all conveyances of any lot on which any portion of the Critical Slope Easement Areas outside of the applicable Building Envelope for each lot shall be construed to grant and reserve such Critical Slope Easement Areas as provided herein even though no specific reference to such easements appears in any such conveyance.
16.) Native vegetation shall not be disturbed on slopes greater than 30%, except as allowed on Section 15C above.
17.) DRIVEWAY SLOPES: All driveways shall not exceed 10% grade.
18.) CROSS EASEMENT ACCESSSES: The following lots contain cross easement accesses including shared driveways which easement is defined and governed in the CCR's: Lots 1301 & 1302. Said easement shall provide for: (a) the design and construction of the driveway access easement area by the respective parties thereto, (b) the ongoing maintenance and repair of the driveway access easement area by the respective parties thereto; (c) snow removal from the driveway access easement area; and (d) how the costs of both maintenance & repair and snow removal of the driveway access easement area shall be allocated between the respective owners. Said easement shall be managed and enforced by the Eaglewood Cove Home Owners Association.
19.) RESTRICTED ACCESS AREAS: For Lots marked with restricted access shall have limited entry from those areas for property maintenance, temporary construction access, or other permitted uses only. No non-motorized vehicular access from those areas shall be permitted without review and approval of the city development review committee and a finding that the requested access will result in a safer access than could otherwise be approved outside the restricted access area, will result in few cuts and fills, and has been reviewed and approved by the city's geotechnical consultant.
20.) GEOTECH: IN ACCORDANCE WITH CITY CODE SECTION 10-12-4 ALL LOTS ARE REQUIRED TO SUBMIT WITH BUILDING PERMIT APPLICATION: "A SITE SPECIFIC GEOTECHNICAL REPORT IN ACCORDANCE WITH CHAPTER 18 OF THE INTERNATIONAL BUILDING (IBC) AND ANY ENGINEERED CONSTRUCTION PLAN WHICH HAS BEEN DESIGNED IN COMPLIANCE WITH THE RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL REPORT FOR SITE EXCAVATION, GRADING, SLOPE STABILITY, STRUCTURAL COMPONENTS, LANDSCAPING, OR ANY OTHER GEOLOGIC HAZARD MITIGATION SPECIFIED."

EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

OWNER'S DEDICATION AND CONSENT TO RECORD

Know by all men by these presents, that the undersigned owner of the parcel of land shown on this plat, and described hereon, have caused the parcel to be subdivided into the lots, public utility easements and private roadways as shown on this plat to be hereafter known as:

EAGLEWOOD COVE SUBDIVISION PHASE 13

W. Scott Kjar, Manager Eaglewood Investment LLC

North Salt Lake City "Owner of Parcel A"

George W. Cannon, General Partner MRF Family Limited

ACKNOWLEDGMENT

State of Utah) ;ss County of Davis)

On this _____ day of _____, 2021, personally appeared before me, W. Scott Kjar, who being by me duly sworn, did say that he is the manager of Eaglewood Investment LLC, and that the foregoing instrument was signed on behalf of said Eaglewood Investment LLC, and said W. Scott Kjar acknowledged to me that said Eaglewood Investment LLC executed the same.

Notary Public for the State of _____

Notary Seal

My Commission Expires _____

ACKNOWLEDGMENT

State of Utah) ;ss County of Davis)

On this _____ day of _____, 2021, personally appeared before me, _____, who being by me duly sworn, did say that he is the _____ of North Salt Lake City, and that the foregoing instrument was signed on behalf of said North Salt Lake City, and said _____ acknowledged to me that said North Salt Lake City executed the same.

Notary Public for the State of _____

Notary Seal

My Commission Expires _____

ACKNOWLEDGMENT

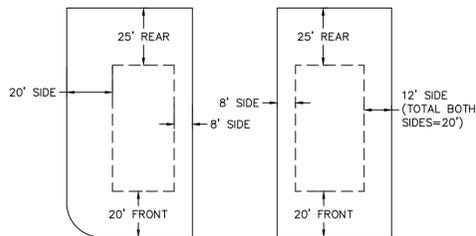
State of Utah) ;ss County of Davis)

On this _____ day of _____, 2021, personally appeared before me, George W. Cannon, who being by me duly sworn, did say that he is the General Partner of MRF Family Limited, a Utah Limited Partnership, and that the foregoing instrument was signed on behalf of said MRF Family Limited, and said George W. Cannon acknowledged to me that said MRF Family Limited, executed the same.

Notary Public for the State of _____

Notary Seal

My Commission Expires _____



CORNER LOT INTERIOR LOT

TYPICAL SETBACK DETAILS

MINIMUM SETBACKS: FRONT = 20' (TYP., EXCEPT WHERE DESIGNATED BUILDING ENVELOPE REQUIRES A GREATER SETBACK AS SHOWN) SIDE YARD = 8' TOTAL WIDTH OF TWO SIDE YARDS = 20' REAR YARD = 25' CORNER LOT REAR YARD = 20' (8' SIDE YARDS GRAPHICALLY SHOWN)

SURVEYOR'S CERTIFICATE

I D. Gregg Meyers do hereby certify that I am a Professional Land Surveyor, and that I hold License Number 312770 in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act, and have completed a survey of the property described hereon in accordance with Section 17-23-17 Utah State Code, and have verified all measurements and placed monuments as represented on this plat, and have subdivided said tract of land into private roads, lots and parcels together with public utility easements hereafter to be known as Eaglewood Cove Subdivision Phase 13.

Date: 03/17/2021

D. Gregg Meyers P.L.S. No. 312770



REVIEW ONLY

BOUNDARY DESCRIPTION:

A parcel of land located in the South Half of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian, North Salt Lake City, Davis County, Utah, more particularly described as follows:

Beginning at the east corner of Lot 608, Eaglewood Cove Subdivision Phase 6 as recorded in the office of the Davis County Recorder as Entry No. 1262635, said point is North 00°19'12" East along the Quarter Section Line 707.35 feet from the South Quarter Corner of Section 7, Township 1 North, Range 1 East, Salt Lake Base and Meridian, and running thence along the boundary of said Phase 6, Eaglewood Cove Subdivision Phase 5 as recorded in said office as Entry No. 1254115 and Eaglewood Cove Subdivision Phase 9 as recorded in said office as Entry No. 1348344 the following seven (7) courses and distances: 1) North 00°19'12" East 299.98 feet, 2) North 67°16'41" West 259.21 feet, 3) North 13°15'18" East 123.44 feet, 4) North 41°48'41" East 291.12 feet, 5) easterly along the arc of a 225.00 foot radius non-tangent curve to the left, the center of which bears North 11°39'20" East, through a central angle of 31°43'41" a distance of 124.60 feet (chord bearing N 85°47'29" E, chord length 123.01'), 6) North 15°59'00" West 143.25 feet and 7) North 37°43'49" East 75.87 feet to a point on the boundary line of the Goalen Parcel as recorded as Entry No. 221244 in said office; thence along said boundary the following three (3) courses and distances: 1) South 68°28'30" East 5.73 feet, 2) North 48°53'30" East 28.81 feet and 3) North 23°34'00" East 45.28 feet to the northeast corner of Lot 909 of said Phase 9; thence along the boundary of said Phase 9 and the boundary of Eaglewood Cove Subdivision Phase 10 as recorded in said office as Entry No. 1506422 the following three (3) courses and distances: 1) North 37°43'49" East 209.97 feet, 2) North 67°53'36" West 120.00 feet and 3) North 19°04'50" East 270.53 feet; thence South 70°55'10" East 263.92 feet; thence South 02°41'45" West 162.92 feet; thence North 85°27'05" East 144.69 feet; thence South 18°29'50" East 156.94 feet; thence South 07°32'30" East 94.00 feet; thence South 82°27'30" West 58.98 feet; thence westerly along the arc of a 76.00 foot radius curve to the left, through a central angle of 10°57'20" a distance of 14.53 feet (chord bearing S 76°58'50" W, chord length 14.51); thence South 71°30'10" West 7.81 feet; thence southwesterly along the arc of a 12.50 foot radius curve to the left, through a central angle of 90°00'00" a distance of 19.63 feet (chord bearing S 26°30'10" W, chord length 17.68'); thence South 18°29'50" East 32.31 feet; thence southerly along the arc of a 124.00 foot radius curve to the right, through a central angle of 47°18'33" a distance of 102.39 feet (chord bearing S 05°09'27" W, chord length 99.50'); thence South 61°11'16" East 118.63 feet; thence North 45°02'21" East 261.24 feet; thence South 55°06'05" East 159.15 feet; thence North 86°06'06" East 92.15 feet; thence South 24°14'00" East 230.00 feet; thence South 37°29'57" East 150.00 feet; thence South 71°49'36" East 800.01 feet; thence South 60°54'02" East 530.00 feet; thence South 04°31'52" West 450.00 feet; thence South 83°42'55" West 475.00 feet; thence North 40°30'18" West 245.94 feet; thence North 12°47'48" West 104.31 feet; thence northerly along the arc of a 76.00 foot radius non-tangent curve the left, the center of which bears North 12°47'48" West, through a central angle of 132°22'38" a distance of 175.59 feet (chord bearing N 11°00'53" E, chord length 139.06'); thence North 55°10'26" West 297.07 feet; thence South 34°49'34" West 92.93 feet; thence North 78°05'59" West 183.56 feet; thence South 39°38'51" West 96.06 feet; thence North 38°12'11" West 228.92 feet; thence North 18°34'24" East 98.09 feet; thence northwesterly along the arc of a 174.00 foot radius non-tangent curve to the right, the center of which bears North 18°34'24" East, through a central angle of 25°37'16" a distance of 77.81 feet (chord bearing N 58°36'58" W, chord length 77.16'); thence North 45°48'20" West 184.47 feet; thence northwesterly along the arc of a 296.00 foot radius curve to the left, through a central angle of 31°45'47" a distance of 164.09 feet (chord bearing N 61°41'14" W, chord length 162.00'); thence westerly along the arc of a 12.50 foot radius compound curve to the left, through a central angle of 85°22'04" a distance of 18.62 feet (chord bearing S 59°44'51" W, chord length 16.95); thence South 17°03'49" West 15.79 feet; thence North 72°56'11" West 48.00 feet; thence northwesterly along the arc of a 12.50 foot radius non-tangent curve to the left, the center of which bears North 72°56'11" West, through a central angle of 109°46'14" a distance of 23.95 feet (chord bearing N 37°49'18" W, chord length 20.45'); thence southwesterly along the arc of a 296.00 foot radius compound curve to the left, through a central angle of 43°41'01" a distance of 225.68 feet (chord bearing S 65°27'04" W, chord length 220.25'); thence southwesterly along the arc of a 124.00 foot radius reverse curve to the right, through a central angle of 26°53'10" a distance of 58.19 feet (chord bearing S 57°03'08" W, chord length 57.65'); thence South 19°30'17" East 46.00 feet; thence South 69.36 feet; thence South 86°24'20" East 90.96 feet; thence South 37°58'31" East 141.74 feet; thence southeasterly along the arc of a 65.00 foot radius non-tangent curve to the right, the center of which bears South 39°18'01" West, through a central angle of 30°53'16" a distance of 35.04 feet (chord bearing S 35°15'21" E, chord length 34.62'); thence South 19°48'43" East 23.53 feet; thence southerly along the arc of a 60.00 foot radius non-tangent curve to the right, the center of which bears South 70°05'17" West, through a central angle of 89°52'43" a distance of 94.12 feet (chord bearing S 25°01'38" W, chord length 84.76'); thence South 70°00'00" West 31.03 feet; thence South 25°00'00" West 19.62 feet; thence South 61°38'46" East 198.95 feet; thence South 01°07'46" East 276.08 feet; thence South 83°13'27" West 352.63 feet; thence South 11°28'37" West 337.03 feet to the South Section Line of said Section 7; thence South 89°56'22" West along said line 475.61 feet to the southeast corner of Lot 408, Eaglewood Cove Subdivision Phase 4 as recorded in said office as Entry No.1169753; thence along the boundary of said Phase 4 the following three (3) courses and distances: 1) North 27°31'10" West 211.48 feet, 2) northeasterly along the arc of a 274.96 foot radius non-tangent curve to the left, through a central angle of 23°25'17" a distance of 112.40 feet (chord bearing N 32°17'59" E, chord length 111.62') and 3) North 69°23'46" West 49.95 feet to the east line of Lot 409, said Phase 4; thence along said east line and the east line of Hanson Estate Subdivision Lot 1 as recorded in said office as Entry No. 145839 northeasterly along the arc of a 325.00 foot radius non-tangent curve to the right, through a central angle of 22°04'11" a distance of 125.19 feet (chord bearing N 31°37'19" E, chord length 124.41'); thence North 47°21'36" West along the northeasterly line of said Hanson Estate Subdivision Lot 1 95.61 feet to the southeast corner of Lot 607, said Phase 6; thence North 20°00'00" East along the boundary of said Phase 6 252.37 feet to the point of beginning.

Containing 2,302,025 Square Feet or 52.847 Acres, 39 Lots, 3 Parcels, and 4 Private Streets.

Rotate this description 00°19'28" to match the NAD83 Utah State Plane coordinate system, North Zone. See Basis of Bearing.

Plat Prepared By:



Design: JJS Drawn: JJS Checked: GM Reviewed: JRL

City Council Approval Presented to the City Council of North Salt Lake City, Utah This _____ day of _____, 2021 at which time this subdivision was approved and accepted. Mayor _____ Attest: City Recorder _____

Recommended for Approval This _____ day of _____, 2021. City Engineer _____

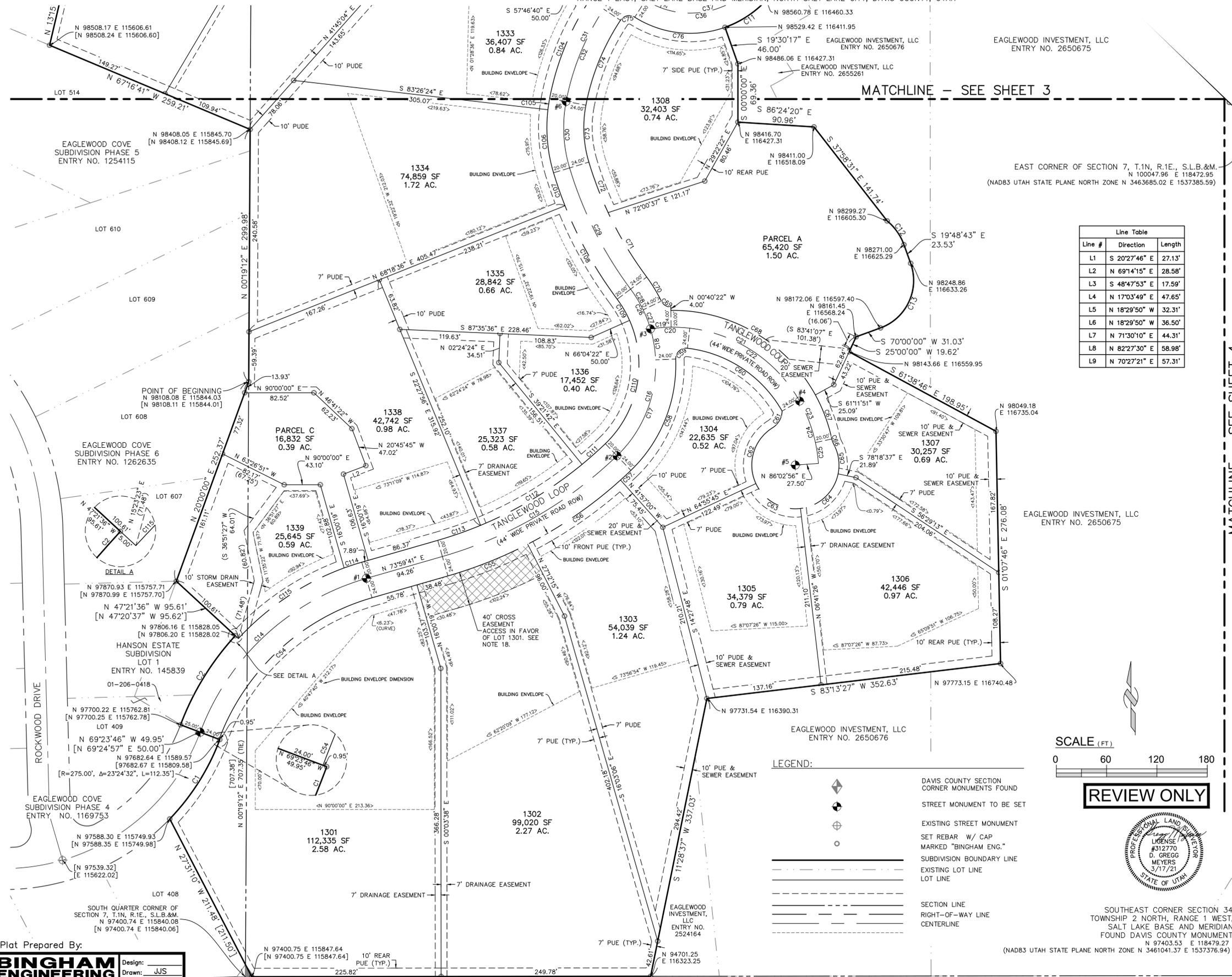
Recommended for Approval This _____ day of _____, 2021. Chairman, Planning Commission _____

Recommended for Approval This _____ day of _____, 2021. City Attorney _____

Davis County Recorder Entry No. _____ Fee Paid _____ Filed for record and recorded this _____ day of _____, 2021 at _____ in Book _____ of Official Records Page _____. County Recorder _____ By: _____ Deputy Recorder _____ Date 03/17/2021 Proj. # 4893 Sht 1 of 4

EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

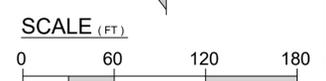


Line #	Direction	Length
L1	S 20°27'46" E	27.13'
L2	N 69°14'15" E	28.58'
L3	S 48°47'53" E	17.59'
L4	N 17°03'49" E	47.65'
L5	N 18°29'50" W	32.31'
L6	N 18°29'50" W	36.50'
L7	N 71°30'10" E	44.31'
L8	N 82°27'30" E	58.98'
L9	N 70°27'21" E	57.31'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	112.40'	274.96'	23°25'17"	111.62'	N 321°7'59" E
C2	125.19'	325.00'	22°04'11"	124.41'	N 31°37'19" E
C3	124.60'	225.00'	31°43'41"	123.01'	N 85°47'29" E
C4	14.53'	76.00'	10°57'20"	14.51'	S 76°58'50" W
C5	19.63'	12.50'	90°00'00"	17.68'	S 26°30'10" W
C6	102.39'	124.00'	47°18'33"	99.50'	S 05°09'27" W
C7	164.09'	296.00'	31°45'47"	162.00'	N 61°41'14" W
C8	18.62'	12.50'	85°22'04"	16.95'	S 59°44'51" W
C9	23.95'	12.50'	109°46'14"	20.45'	N 37°49'18" W
C10	225.68'	296.00'	43°41'01"	220.25'	S 65°27'04" W
C11	58.19'	124.00'	26°53'10"	57.65'	S 57°03'08" W
C12	35.04'	65.00'	30°53'16"	34.62'	S 35°15'21" E
C13	94.12'	60.00'	89°52'43"	84.76'	S 25°01'38" W
C14	279.66'	300.00'	53°24'39"	269.64'	S 47°17'22" W
C15	242.50'	500.00'	27°47'19"	240.13'	N 60°06'02" E
C16	164.18'	150.00'	62°42'43"	156.11'	N 14°51'01" E
C17	126.78'	150.00'	48°25'38"	123.04'	N 21°59'33" E
C18	37.40'	150.00'	141°7'04"	37.30'	N 09°21'48" W
C19	24.64'	174.00'	8°06'45"	24.62'	S 85°16'15" W
C20	46.93'	174.00'	15°27'11"	46.79'	S 88°56'28" W
C21	168.66'	174.00'	55°32'15"	162.13'	N 62°54'15" W
C22	162.90'	174.00'	53°38'32"	157.02'	N 56°30'40" W
C23	69.60'	174.00'	22°55'02"	69.13'	N 23°40'36" W
C24	78.17'	174.00'	25°44'20"	77.51'	N 16°49'14" W
C25	25.11'	174.00'	81°16'02"	25.08'	N 08°05'05" W
C26	53.17'	150.00'	201°18'35"	52.89'	N 26°39'38" W
C27	24.31'	150.00'	91°7'06"	24.28'	N 21°08'53" W
C28	28.86'	150.00'	110°12'28"	28.82'	N 31°18'11" W
C29	162.26'	464.00'	20°02'12"	161.44'	S 26°47'49" E
C30	79.95'	166.00'	27°35'45"	79.18'	S 02°58'50" E
C31	159.09'	300.00'	30°23'05"	157.24'	S 26°00'35" W
C32	119.31'	300.00'	22°47'13"	118.53'	S 22°12'39" W
C33	39.78'	300.00'	7°35'52"	39.75'	S 37°24'11" W
C34	35.40'	100.00'	201°7'01"	35.22'	S 58°56'23" E
C35	15.61'	100.00'	8°56'47"	15.60'	S 53°16'16" E
C36	137.26'	100.00'	78°38'47"	126.74'	N 82°55'37" E
C37	117.48'	100.00'	67°18'33"	110.84'	N 77°15'50" E
C38	294.65'	320.00'	52°45'27"	284.35'	S 69°59'17" W
C39	243.98'	320.00'	43°41'01"	238.11'	S 65°27'04" W
C40	50.68'	320.00'	9°04'26"	50.63'	N 88°10'12" W
C41	211.27'	320.00'	37°49'39"	207.45'	N 64°43'10" W
C42	33.87'	320.00'	6°03'52"	33.85'	N 80°36'03" W
C43	177.40'	320.00'	31°45'47"	175.14'	N 61°41'14" W
C44	43.60'	300.00'	81°9'37"	43.56'	S 45°21'56" W
C45	1.94'	200.00'	0°33'26"	1.94'	N 49°15'02" E
C46	61.51'	200.00'	17°37'20"	61.27'	N 40°43'05" E
C47	59.57'	200.00'	17°03'54"	59.35'	N 40°26'22" E
C48	110.96'	100.00'	63°34'36"	105.36'	N 00°07'07" E
C49	168.29'	100.00'	96°25'16"	149.12'	S 16°32'27" W
C50	145.30'	100.00'	83°14'54"	132.85'	N 23°07'38" E
C51	19.12'	100.00'	10°57'20"	19.09'	S 76°58'50" W
C52	25.27'	100.00'	142°8'44"	25.20'	S 64°15'48" W
C53	93.77'	400.00'	13°25'55"	93.56'	N 63°44'24" E
C54	257.29'	276.00'	53°24'39"	248.07'	S 47°17'22" W
C55	102.42'	524.00'	11°11'56"	102.26'	N 68°23'43" E
C56	134.86'	524.00'	14°44'45"	134.49'	N 55°25'23" E
C57	16.86'	524.00'	1°50'37"	16.86'	N 47°07'41" E
C58	147.07'	174.00'	48°25'38"	142.73'	N 21°59'33" E
C59	21.57'	12.50'	98°53'20"	18.99'	S 47°13'24" W
C60	140.44'	150.00'	53°38'32"	135.36'	N 56°30'40" W
C61	23.94'	24.00'	57°08'39"	22.96'	N 29°48'51" E
C62	75.74'	52.00'	83°27'26"	69.22'	S 16°39'28" W
C63	65.00'	52.00'	71°37'11"	60.85'	S 60°52'51" E
C64	65.00'	52.00'	71°37'11"	60.85'	N 47°29'58" E
C65	36.30'	52.00'	39°59'57"	35.57'	N 08°18'36" W
C66	6.74'	24.00'	16°05'29"	6.72'	N 20°15'50" E
C67	56.15'	194.00'	16°35'04"	55.96'	N 20°30'37" W

MATCHLINE - SEE SHEET 4

BASIS OF BEARING N 00°08'13" W 2,644.44'
(NAD83 UTAH STATE PLANE NORTH ZONE: N 00°11'15" E 2,643.66')



REVIEW ONLY

- LEGEND:**
- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
 - STREET MONUMENT TO BE SET
 - EXISTING STREET MONUMENT
 - SET REBAR W/ CAP MARKED "BINGHAM ENG."
 - SUBDIVISION BOUNDARY LINE
 - EXISTING LOT LINE
 - LOT LINE
 - SECTION LINE
 - RIGHT-OF-WAY LINE
 - CENTERLINE



SOUTHEAST CORNER SECTION 34
TOWNSHIP 2 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
FOUND DAVIS COUNTY MONUMENT
N 97403.53 E 118479.27
(NAD83 UTAH STATE PLANE NORTH ZONE N 3461041.37 E 1537376.94)

Plat Prepared By:

BINGHAM ENGINEERING
262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116
(801) 532-2520 www.binghamnet.com

Design: JJS
Drawn: JJS
Checked: GM
Reviewed: JRL

Davis County Recorder

Entry No. _____ Fee Paid _____

Filed for record and recorded this _____ day of _____, 2021 at _____ in Book _____ of Official Records Page _____

County Recorder _____
By: _____
Deputy Recorder _____

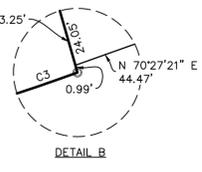
Date 03/17/2021 Proj. # 4893 Sht 2 of 4

EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

LEGEND:

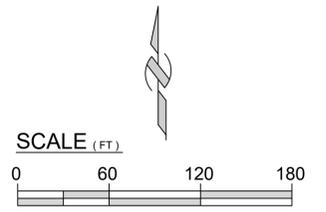
- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- LOT LINE
- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED), SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE



Street Monument Table		
MON#	NORTHING	EASTING
1	97874.31	115984.34
2	98020.00	116283.11
3	98170.90	116323.12
4	98085.12	116500.86
5	98009.03	116495.85
6	98441.34	116222.49
7	98582.65	116291.44
8	98577.33	116442.95
9	98674.64	116710.14
10	98586.05	116897.72
11	98659.70	116362.41
12	98765.05	116362.63
13	98908.00	116405.08
14	99095.43	116435.43
15	98938.97	116082.69
16	98457.46	117029.98
17	98412.22	117277.31
18	98089.64	117740.99

LOT #	ADDRESS TABLE
1301	725 SOUTH TANGLEWOOD LOOP
1302	715 SOUTH TANGLEWOOD LOOP
1303	699 SOUTH TANGLEWOOD LOOP
1304	1310 EAST TANGLEWOOD COURT
1305	1320 EAST TANGLEWOOD COURT
1306	1321 EAST TANGLEWOOD COURT
1307	1315 EAST TANGLEWOOD COURT
1308	623 SOUTH TANGLEWOOD LOOP
1309	1430 EAST WOOD OAKS LOOP
1310	1525 EAST WOOD OAKS LOOP
1311	1521 EAST WOOD OAKS LOOP
1312	1503 EAST WOOD OAKS LOOP
1313	1423 EAST WOOD OAKS LOOP
1314	1401 EAST WOOD OAKS LOOP
1315	1391 EAST WOOD OAKS LOOP
1316	1375 EAST WOOD OAKS LOOP
1317	1357 EAST WOOD OAKS LOOP
1318	1351 EAST WOOD OAKS LOOP
1319	597 SOUTH TANGLEWOOD LOOP
1320	589 SOUTH TANGLEWOOD LOOP
1321	1309 EAST COVE CREST COURT
1322	577 SOUTH TANGLEWOOD LOOP
1323	573 SOUTH TANGLEWOOD LOOP
1324	569 SOUTH TANGLEWOOD LOOP
1325	565 SOUTH TANGLEWOOD LOOP
1326	562 SOUTH TANGLEWOOD LOOP
1327	566 SOUTH TANGLEWOOD LOOP
1328	568 SOUTH TANGLEWOOD LOOP
1329	572 SOUTH TANGLEWOOD LOOP
1330	582 SOUTH TANGLEWOOD LOOP
1331	592 SOUTH TANGLEWOOD LOOP
1332	598 SOUTH TANGLEWOOD LOOP
1333	610 SOUTH TANGLEWOOD LOOP
1334	628 SOUTH TANGLEWOOD LOOP
1335	654 SOUTH TANGLEWOOD LOOP
1336	676 SOUTH TANGLEWOOD LOOP
1337	702 SOUTH TANGLEWOOD LOOP
1338	716 SOUTH TANGLEWOOD LOOP
1339	726 SOUTH TANGLEWOOD LOOP
A	1303 EAST TANGLEWOOD COURT

REVIEW ONLY



Davis County Recorder

Entry No. _____ Fee Paid _____

Filed for record and recorded this _____ day of _____, 2021 at _____ in Book _____ of Official Records Page _____

County Recorder _____

By: _____ Deputy Recorder

Date 03/17/2021 Proj. # 4893 Sht 3 of 4

Plat Prepared By:

BINGHAM ENGINEERING

Design: JJS 15845.70
 Drawn: JJS 15845.69
 Checked: GM
 Reviewed: JRL

262 N. Wight Brothers Dr. Ste 120, Salt Lake City, UT 84116
 (801) 532-2520 www.binghamnet.com

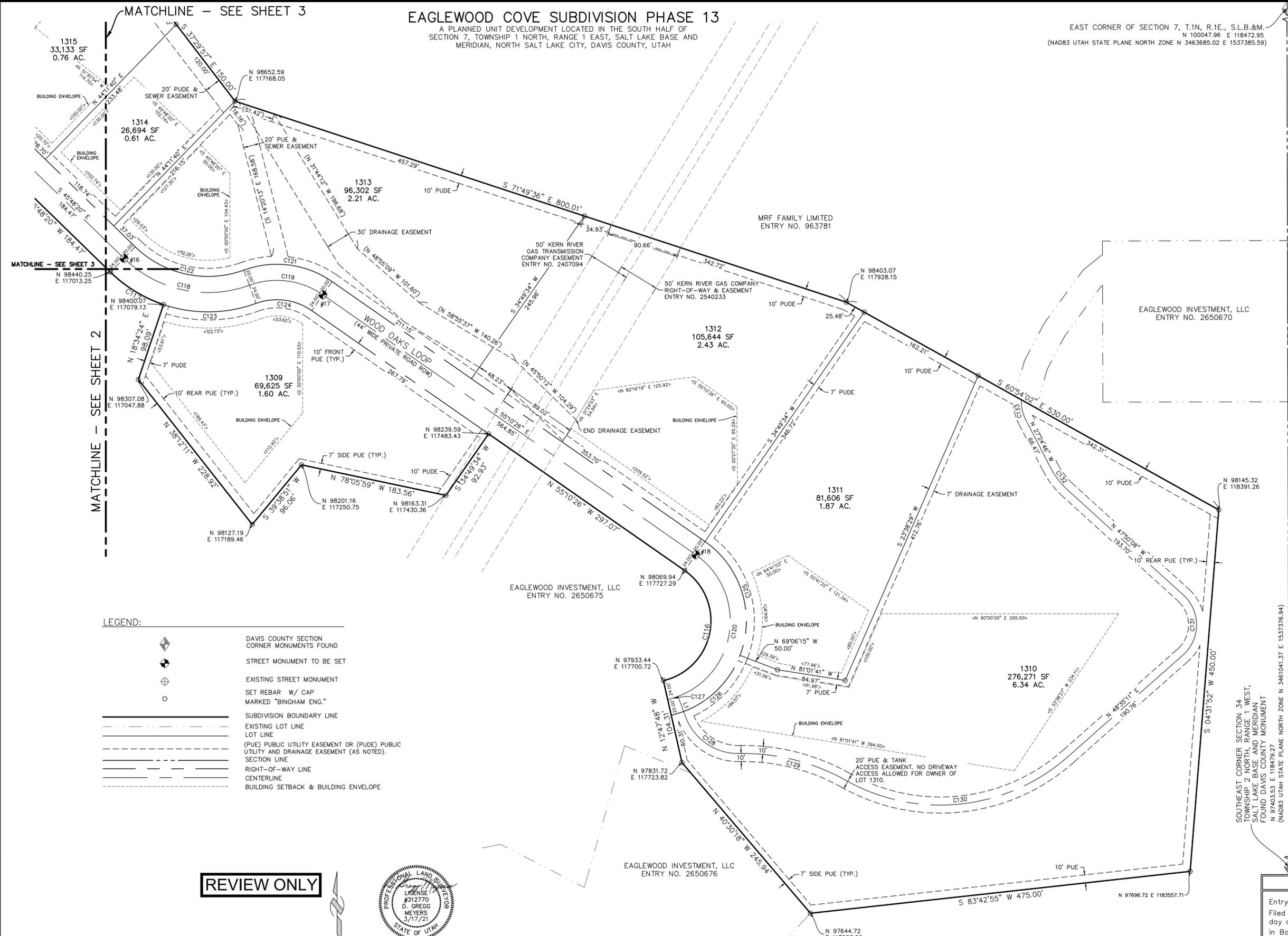
MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 4

EAGLEWOOD COVE SUBDIVISION PHASE 13

A PLANNED UNIT DEVELOPMENT LOCATED IN THE SOUTH HALF OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, NORTH SALT LAKE CITY, DAVIS COUNTY, UTAH

EAST CORNER OF SECTION 7, T.1N, R.1E., S.L.B.&M.
N 100047.96 E 118472.95
(NAD83 UTAH STATE PLANE NORTH ZONE N 3463685.02 E 1537385.59)

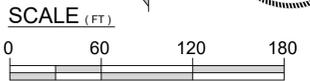


Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C68	209.49'	194.00'	61°52'13"	199.46'	N 59°44'16" W
C69	14.16'	12.50'	64°52'56"	13.41'	S 58°13'54" E
C70	33.48'	174.00'	11°01'28"	33.43'	N 31°18'11" W
C73	68.39'	142.00'	27°35'45"	67.73'	S 02°58'50" E
C74	109.77'	276.00'	22°47'13"	109.04'	S 22°12'39" W
C75	19.34'	12.50'	88°39'05"	17.47'	S 77°55'48" W
C76	112.02'	124.00'	51°45'37"	108.25'	S 83°37'28" E
C77	83.25'	340.00'	14°01'45"	83.04'	N 52°49'12" W
C78	102.19'	340.00'	17°13'12"	101.80'	N 68°26'41" W
C79	30.04'	340.00'	5°03'44"	30.03'	N 79°35'09" W
C80	130.85'	340.00'	22°03'04"	130.05'	S 86°51'27" W
C81	191.21'	340.00'	32°13'21"	188.70'	S 59°43'14" W
C82	93.98'	80.00'	67°18'33"	88.67'	N 77°15'50" E
C83	25.76'	12.50'	118°03'13"	21.44'	S 10°03'18" E
C84	66.72'	224.00'	17°03'54"	66.47'	N 40°26'22" E
C85	122.65'	124.00'	56°40'22"	117.71'	N 03°34'14" E
C86	14.94'	124.00'	6°54'14"	14.93'	N 28°13'04" W
C87	127.90'	76.00'	96°25'16"	113.33'	S 16°32'27" W
C88	77.78'	124.00'	35°56'21"	76.51'	N 46°46'54" E
C89	22.95'	120.00'	10°57'20"	22.91'	S 76°58'50" W
C90	6.76'	73.61'	5°15'46"	6.76'	S 69°33'46" W
C91	23.56'	114.65'	11°46'31"	23.52'	S 62°44'33" W
C92	89.08'	380.00'	13°25'55"	88.88'	N 63°44'24" E
C93	59.99'	424.00'	8°06'25"	59.94'	N 66°24'09" E
C94	39.41'	424.00'	5°19'30"	39.39'	N 59°41'11" E
C95	19.21'	76.00'	14°28'44"	19.15'	S 64°15'48" W
C96	19.63'	12.50'	90°00'00"	17.68'	N 63°29'50" W
C97	116.24'	80.00'	83°14'54"	106.28'	N 23°07'38" E
C98	76.63'	120.00'	36°35'17"	75.33'	S 46°27'27" W
C99	125.31'	120.00'	59°50'00"	119.70'	S 01°45'12" E
C100	29.53'	80.00'	21°09'04"	29.37'	N 21°05'39" W
C101	59.24'	80.00'	42°25'32"	57.89'	N 10°41'39" E
C102	55.36'	180.00'	17°37'20"	55.14'	N 40°43'05" E
C103	96.66'	320.00'	17°18'25"	96.29'	S 40°52'32" W
C104	119.55'	320.00'	21°24'17"	118.85'	S 21°31'11" W
C105	13.82'	186.00'	4°15'27"	13.82'	S 08°41'19" W
C106	75.76'	186.00'	23°20'19"	75.24'	S 05°06'33" E
C107	41.49'	484.00'	4°54'41"	41.48'	S 19°14'03" E
C108	127.77'	484.00'	15°07'31"	127.40'	S 29°15'09" E
C109	29.24'	130.00'	12°53'17"	29.18'	N 30°22'16" W
C110	159.13'	130.00'	70°08'00"	149.38'	N 11°08'22" E
C111	37.13'	480.00'	4°25'56"	37.12'	N 48°25'20" E
C112	141.55'	480.00'	16°53'46"	141.04'	N 59°05'11" E
C113	54.12'	480.00'	6°27'38"	54.09'	N 70°45'53" E
C114	22.13'	320.00'	3°57'44"	22.12'	S 72°00'49" W
C115	152.89'	320.00'	27°22'32"	151.44'	S 56°20'41" W
C116	175.59'	76.00'	132°22'38"	139.06'	N 11°00'53" E
C117	77.81'	174.00'	25°37'16"	77.16'	N 58°36'58" W
C118	168.16'	150.00'	64°13'50"	159.49'	S 77°55'15" E
C119	95.75'	100.00'	54°51'44"	92.14'	N 82°36'18" W
C120	217.66'	100.00'	124°42'39"	177.17'	N 07°10'54" E
C121	114.90'	120.00'	54°51'44"	110.56'	N 82°36'18" W
C122	145.73'	130.00'	64°13'50"	138.22'	S 77°55'15" E
C123	117.25'	174.00'	38°36'35"	115.05'	N 89°16'07" E
C124	72.77'	76.00'	54°51'44"	70.02'	N 82°36'18" W
C125	159.32'	120.00'	76°04'11"	147.87'	N 17°08'20" W
C126	117.93'	120.00'	56°18'27"	113.24'	N 49°02'59" E
C127	13.38'	100.00'	7°39'58"	13.37'	N 73°22'13" E
C128	86.28'	70.00'	70°37'19"	80.92'	S 55°46'26" E
C129	137.93'	260.00'	30°23'46"	136.32'	N 75°53'13" W
C130	296.25'	240.00'	70°43'30"	277.80'	N 83°56'56" E
C131	84.14'	50.00'	96°25'19"	74.56'	N 00°22'31" E
C132	35.64'	100.00'	20°25'23"	35.46'	S 37°37'27" E
C133	25.98'	50.00'	29°46'06"	25.69'	S 12°31'42" E

LEGEND:

- DAVIS COUNTY SECTION CORNER MONUMENTS FOUND
- STREET MONUMENT TO BE SET
- EXISTING STREET MONUMENT
- SET REBAR W/ CAP MARKED "BINGHAM ENG."
- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- LOT LINE
- (PUE) PUBLIC UTILITY EASEMENT OR (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT (AS NOTED).
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK & BUILDING ENVELOPE

REVIEW ONLY



Plat Prepared By:

BINGHAM ENGINEERING

Design: JJS
 Drawn: JJS
 Checked: GM
 Reviewed: JRL

262 N. Wright Brothers Dr. Ste 120, Salt Lake City, UT 84116
 (801) 532-2520 www.binghamnet.com

Davis County Recorder

Entry No. _____ Fee Paid _____

Filed for record and recorded this _____ day of _____, 2021 at _____ in Book _____ of Official Records Page _____

County Recorder _____
 By: _____
 Deputy Recorder _____

Date 03/17/2021 | Proj. # 4893 | Sht 4 of 4

1 CITY OF NORTH SALT LAKE
2 PLANNING COMMISSION MEETING
3 MARCH 9, 2021

4
5 **DRAFT**
6

7 This meeting was held electronically via Zoom.
8

9 Commission Chair Ted Knowlton called the meeting to order at 6:30 p.m. and Ron Jorgensen led
10 those present in the Pledge of Allegiance.
11

12 PRESENT: Commission Chair Ted Knowlton
13 Commissioner Ron Jorgensen
14 Commissioner BreAnna Larson
15 Commissioner Katherine Maus
16 Commissioner Brandon Tucker
17 Commissioner Alisa Van Langeveld
18 Commissioner William Ward
19

20 STAFF PRESENT: Sherrie Pace, Community Development Director; Mackenzie Bennett,
21 Planner; Andrea Bradford, Minutes Secretary.
22

23 OTHERS PRESENT: Chelsea Carroll (Rosewood Lane applicant), Dan Buehner, Matt Buehner,
24 Amanda Buehner, Darrin Fenwick (Altyn Vista applicants), Mark Pantelakis, ILC Travel
25 Outfitters; "iPad".
26

27 1. PROCLAMATION BY PLANNING COMMISSION CHAIR REGARDING
28 ELECTRONIC MEETING
29

30 Chair Knowlton read the following proclamation "Whereas, the Planning Commission Chair has
31 determined that conducting public meetings of the Planning Commission with an anchor location
32 where the public could attend in person, presents a substantial risk to the health and safety of
33 those who may be present at that location based upon the current Covid-19 pandemic and the
34 limited staff support to properly ensure physical distancing and sufficient disinfection for
35 attendees and staff. Now, therefore, be it resolved, that the Planning Commission shall hold
36 meetings for the month of March 2021 by electronic means only, and will not include an anchor
37 location where the public could attend in person."
38

39 2. PUBLIC COMMENTS
40

41 There were no public comments.

42 3. PUBLIC HEARING: PROPOSED AMENDMENT TO THE LAND USE CODE, TITLE
43 10, CHAPTER 1, DEFINITIONS AND CHAPTER 25, COMMERCIAL HIGHWAY
44 ZONE TO INCLUDE A PERMITTED USE “ARTISAN AND CRAFTSMAN
45 INDUSTRY”, MARK PANTELAKIS, APPLICANT
46

47 Sherrie Pace reported that the applicant, Mark Pantelakis, was the owner of ILC Travel Outfitters
48 at 328 North Highway 89. He approached the City about leasing space in his building but staff
49 found that the proposed uses did not fit in the Commercial Highway (CH) zone. The first
50 business was an auto repair facility that sold and installed specialty drive trains and the second
51 use was a specialty manufacturer of ammunition. Automotive repair as well as manufacturing
52 would be considered prohibited uses in the CH zone. Mr. Pantelakis has requested a code
53 amendment that would dramatically change the allowed uses in the CH zone.
54

55 Ms. Pace explained that in 2015 the City Council enacted a temporary ordinance calling for a
56 development moratorium with the CH zone on Highway 89 in the Town Center. The City
57 Council was concerned that uses would be approved in the corridor that would be detrimental to
58 redevelopment of the corridor and impede the implementation of the Town Center Master Plan.
59 The City was working on grant applications to fund the drafting of the form based code for the
60 Town Center. Staff then spent six months rewriting the CH code and an ordinance was adopted
61 in 2016, which eliminated those uses (such as gas stations, auto repair, etc.).
62

63 Sherrie Pace said that after meeting with staff Mark Pantelakis filed a code amendment with the
64 proposal to add as permitted uses: auto body and fender shop with a setback of 100 feet,
65 convenience retail stores, industrial assembly, light manufacturing, online sales, retail
66 establishments under 20,000 square feet, and automotive parts including assembly and
67 manufacturing of those parts. He also proposed to add auto body shops and repair facilities as
68 conditional uses with the removal as a prohibited use.
69

70 Staff prepared an alternative code amendment with the proposed language, which included the
71 changes to allow an “Artisan and Craftsman Industry” that would allow for the “production of
72 goods in limited quantities by skilled workers using hand tools, small machinery or other
73 traditional methods. The production, assembly and/or repair of artisan and craftsman goods shall
74 create no noxious by-products and may include limited distribution and online sales.” The
75 language recommended that the “Artisan and Craftsman Industry” would be a permitted use in
76 the CH zone with an 8,000 square foot maximum and “shall not create noxious by-products and
77 must include a showroom or retail outlet.”
78

79 Sherrie Pace said that staff felt that the proposed amendment may work for the assembly of the
80 ammunition but would not allow automotive repair. The Development Review Committee
81 (DRC) recommended approval of the proposed amendments with the following findings: that the
82 proposed amendment was in accord with the comprehensive general plan, goals and policies of
83 the City, that changed or changing conditions make the proposed amendment reasonably

84 necessary to carry out the purposes stated in this title, that the proposed amendment is in accord
85 with the Town Center Master Plan and the future implementation of the draft form based code,
86 and that the uses proposed by the applicant are not in accord with the Town Center Master Plan
87 and may negatively affect the implementation of the adopted plan.
88

89 Commissioner Van Langeveld asked about the proposal to add retail establishments as a
90 permitted use and questioned if this was already a permitted use in the CH zone. Sherrie Pace
91 said that retail was already permitted. She explained that if the retail space was under 20,000
92 square feet it would be reviewed by staff but any proposal above 20,000 square feet would
93 require a review by the Planning Commission.
94

95 Commissioner Jorgensen spoke on the requirement that no noxious by-products could be created
96 which he interpreted as waste streams, odors, etc. He asked if bulk storage of hazardous
97 materials could be part of that. Sherrie Pace replied that this this would allow the storage of
98 possibly hazardous materials and that the storage of any materials would have to be approved per
99 the fire marshal or the City Building Official. Staff also reviews business licenses to ensure that
100 those properties in well source protection zones would not contaminate water.
101

102 Commissioner Maus asked if a differentiation needed to be made between the Artisan and
103 Craftsman Industry as defined and manufacturing, which was a prohibited use. Sherrie Pace
104 responded that the difference would be the use of small equipment and hand tools versus large
105 machinery and conveyor belts, etc. that may need venting.
106

107 Mark Pantelakis, ILC Travel Outfitters, commented that the original plan was done in 2015 and
108 after the events of 2020, he felt the proposed changes would help with a changed world. He said
109 that there was at least a ten year recovery for retail, restaurants, etc. and was trying to find ways
110 to survive as a retail business. Mr. Pantelakis explained that he had been at the Highway 89
111 location for 30 years and was a destination business. He wanted to divide his business space to
112 add retail capacity.
113

114 Mark Pantelakis then said he believes the automotive tenant is not in auto repair but builds
115 custom parts and did some installs with a retail component. He felt the amendments proposed by
116 staff would help him to obtain some of the tenants he would like. Mr. Pantelakis advised the
117 Planning Commission to include a service component with the retail and that there would be
118 some unique challenges with restaurants.
119

120 Commissioner Jorgensen asked about the proposed ammunition and what type it would be. Mark
121 Pantelakis replied that it would be sporting ammunition such as shotgun or 9mm shells. He said
122 they would assemble the pieces for sale online and in the retail location. Mr. Pantelakis said the
123 Bureau of Alcohol, Tobacco, Firearms and Explosives (ATF) and the fire marshal had already
124 granted approval. Sherrie Pace commented that staff had also verified the approvals with ATF.
125

126 Chair Knowlton commented that some of the amendments proposed by Mr. Pantelakis include
127 the modifier “for accessory use” and asked what that meant. Sherrie Pace replied that the general
128 definition in the code for “accessory” was smaller than the primary building/use in height and
129 square footage. She said this was a very broad definition so staff did not feel comfortable with
130 that language and recommended the “Artisan and Craftsman Industry” definition.

131

132 Chair Knowlton clarified that the Planning Commission would make a recommendation to the
133 City Council who would make the final decision.

134

135 **Chair Knowlton opened the public hearing at 6:54 p.m.**

136

137 Mark Pantelakis asked about the process for the proposed amendment and if the City Council
138 would review the item in a public meeting. Sherrie Pace clarified that after the review by the
139 Planning Commission the City Council would review the amendments in a public meeting. She
140 said if the City Council approved the changes then the ordinance would be adopted and any
141 changes would take effect the next day.

142

143 **Chair Knowlton closed the public hearing at 6:56 p.m.**

144

145 Commissioner Van Langeveld asked for confirmation that the ammunition manufacturing would
146 fit under the Artisan and Craftsman definition and that automotive repair would remain a
147 prohibited use in the CH zone. Sherrie Pace replied affirmatively.

148

149 Commissioner Ward asked if the applicant was in favor of the recommendations made by the
150 DRC and if the Artisan and Craftsman Industry definition would provide what he needed. Mark
151 Pantelakis replied that it would.

152

153 Chair Knowlton asked if any of the Commissioners would like to explore additional changes to
154 permitted uses beyond the Artisan and Craftsman manufacturing. Mark Pantelakis responded that
155 he provided other recommended uses for future development such as allowing repair centers
156 with automotive sales.

157

158 Chair Knowlton commented that the logic had some validity as land use was in a state of flux
159 with a decline in retail and potentially office use. He said it could be worth considering some
160 flexibility like online sales as an accessory use to another permitted use. Chair Knowlton said
161 this area was established as the Town Center and was meant to draw many people with
162 restaurants, public transportation and general vitality. He said land uses that were a higher ratio
163 of square footage to people would actually work against this.

164

165 **Commissioner Ward moved that the Planning Commission recommend for approval the**
166 **proposed code amendment, as modified and recommended by the Development Review**
167 **Committee with the following findings:**

- 168 **1) The proposed amendment is in accord with the comprehensive general plan, goals**
169 **and policies of the City.**
170 **2) Changed or changing conditions make the proposed amendment reasonably**
171 **necessary to carry out the “purpose” stated in this title.**
172 **3) The proposed amendment is in accord with the Town Center Master Plan and the**
173 **future implementation of the draft form based code.**
174 **4) The uses proposed by the applicant are not in accord with the Town Center Master**
175 **Plan and may negatively affect the implementation of the adopted plan.**
176

177 **Commissioner Van Langeveld seconded the motion. The motion was approved by**
178 **Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**
179

180 4. CONSIDERATION OF A CONCEPT PLAN FOR ALTYN VISTA PUD
181 SUBDIVISION AT 340 NORTH ORCHARD DRIVE, BRAD BUEHNER,
182 APPLICANT
183

184 Mackenzie Bennett reported that this was the concept plan for Altyn Vista PUD subdivision and
185 that the preliminary and final plats would be submitted together at a later date. The two lots
186 located at 340 and 360 North consist of approximately 1.48 combined acres or 64,469 square
187 feet. The applicant has proposed to subdivide the property into four lots by adding a new private
188 road. The proposed road has been reviewed by the DRC and South Davis Metro Fire and would
189 be 20 feet wide and 260 feet long complete with a 70 foot hammerhead turnaround. She
190 explained that Code section 10-7-4 contained regulations related to Planned Unit Developments
191 (PUD) which provided for the Planning Commission to vary lot area, height, and coverage
192 requirements.
193

194 Mackenzie Bennett stated that the minimum lot size in the R1-10 zone was 10,000 square feet
195 unless modified by recommendation by the Planning Commission. The current layout showed lot
196 1 at 12,128 square feet, lot 2 at 8,879 square feet, lot 3 at 25,676 square feet, and lot 4 at 15,568
197 square feet. While lot 2 would be less than 10,000 square feet, the overall density would not
198 exceed the 10,000 square foot minimum per dwelling. She said the applicant also requested
199 reduced setbacks from the new private road for the existing structures. Per City, code primary
200 and secondary accessory structures on corner lots must be located a minimum of 25 feet from the
201 property line and 8 feet from the side property line on the side adjacent to the public right of
202 way. Ms. Bennett explained that the proposed concept plan showed the following setbacks from
203 the proposed road to the existing structures with lot 1 showing 23 feet from the existing house, 5
204 feet from the existing garage, 8 feet from the existing shed, and 5 feet from the existing fence.
205 Lot 2 showed setbacks of 12 feet from the existing house and 15 feet from the existing pergola.
206 Other items to note included the request to keep the garage and shed within the rear property
207 setback on lot 1, demolition of the garage on lot 2, demolition of the basketball court and
208 concrete pad on lot 3, and demolition of a ten foot wildlife fence adjacent to the proposed road

209 on lot 4 when lot 4 is developed. The DRC recommends approval of the requested concept plan
210 for a four lot subdivision with any conditions required by the Planning Commission.

211
212 Matt Buehner commented that they would like to retain the concrete pad as an area for the kids
213 to play as well as parking.

214
215 Chair Knowlton asked what the required rear setback would be in the R1-10 zone. Sherrie Pace
216 replied that it was 25 feet. She said the City required that a subdivision also be a PUD if they did
217 not meet the requirements of the zone. The other reason for the PUD was to allow for a private
218 road and reduced setbacks.

219
220 Mackenzie Bennett also noted that setbacks for accessory structures were different and could be
221 one foot from the property line depending on firewalls.

222
223 Chair Knowlton clarified that Matt Buehner would live on lot 3. Matt Buehner replied that they
224 would build a house on lot 3.

225
226 Dan Buehner commented that he lived on lot 1. Mackenzie Bennett explained that the Buehners
227 were related and owned the properties next to each other.

228
229 Commissioner Van Langeveld suggested that the driveway approach on lot 2 may need to be
230 moved. Mackenzie Bennett replied that this request could be reviewed. She said that the only
231 discussion so far was that there could not be any driveways off of Orchard Drive with the
232 exception of the northern most driveway on lot 1.

233
234 Commissioner Van Langeveld asked why lot 2 was so much smaller than the other three lots at
235 8,879 square feet compared to 12,128 square feet, 25,676 square feet, and 15,568 square feet.
236 Matt Buehner replied that personally they wanted more space for lot 3. He said that they had not
237 mapped out the driveway for lot 2.

238
239 Commissioner Van Langeveld also asked if the Buehners planned to sell the existing home once
240 their new home was built. Matt Buehner replied that they would retain the existing home and
241 potentially rent it out. He explained that there was plenty of space for parking where the existing
242 pergola was located.

243
244 Chair Knowlton commented on the rear setbacks and one thing to consider was the viability of
245 each lot over time. He said the challenge with lot 2 was that relocating the parking would result
246 in a backyard with little useable space. Chair Knowlton explained that the Planning Commission
247 would be allowing a variation from the underlying zoning in regards to minimum lot size and
248 rear setback and suggested extending the length 25 feet from the back of the house to provide
249 enough space to retain the viability of the lot.

250

251 Darrin Fenwick, representing the applicant, said that the reason for this was due to a defined
252 elevation change on the back of lot 1. He said if they extended the property back that it would
253 just be wasted space due to the elevation change.

254

255 Mr. Fenwick also spoke on parking and said a convenient place to park for lot 2 would be
256 between the road and the house. Sherrie Pace showed the concept plan and drew the location of
257 the proposed parallel parking configuration.

258

259 Darrin Fenwick said two cars could fit in that location facing east/west or three or four cars
260 parking diagonally.

261

262 Commissioner Van Langeveld asked if parking counted as part of the setback. Sherrie Pace
263 replied that parking was allowed in the setback especially as it was a side street.

264

265 Commissioner Ward asked if per the current configuration if the property owner had to backup
266 onto Orchard and with the proposed configuration if it would allow them to pull forward. He felt
267 that would be a good improvement if so. Matt Buehner replied affirmatively and said the
268 proposed configuration would be safer.

269

270 Commissioner Jorgensen asked if the structures would be multistory and if there would be any
271 concerns from the adjacent neighbors. Matt Buehner replied that the elevation change between
272 lots 3 and 4 and the neighboring properties was pretty significant. He said there were plans for a
273 two story home on lot 3 and potentially lot 4.

274

275 Commissioner Jorgensen also asked if they were aware of the geo hazards in that area
276 specifically the Wasatch Fault zone and a surface fault rupture hazard special study area. Sherrie
277 Pace commented that if the property was in the sensitive lands overlay zone that at the time of
278 building permit a geotech would do a soil sample and would observe the digging of the
279 foundation. If any faults were discovered then the geotech would have to make some changes to
280 the structural plans of the home or if soft soil was discovered it would need to be replaced.

281

282 Mackenzie Bennett commented that per documentation the property was not located in the
283 sensitive lands overlay zone. She also said that a notice would be sent to the neighboring
284 properties for the preliminary and final plat review.

285

286 Sherrie Pace explained that with a subdivision the City would send out a notice for a public
287 comment period, as public hearings were not required per State code. City code did require a
288 notice be sent to every property owner within 300 feet to notify them of the proposed
289 subdivision. This allowed for public fact finding and other comments for review by staff and the
290 Planning Commission.

291

292 Commissioner Van Langeveld commented that while she was not concerned about the size of lot
293 2 that a larger lot size would make the property more desirable and the development more
294 appealing. Chair Knowlton said he also struggled with the proposed size for lot 2.

295
296 Sherrie Pace clarified that in order to make lot 2 be 10,000 square feet that the lot line would
297 need to move 15 feet.

298
299 Commissioner Larson asked if moving the lot line would require anything to change on the
300 property at this time or affect anything with the proposed home on the rear lot.

301
302 Matt Buehner asked if they distinguished a lot line now if that was permanent or if it could be
303 changed in the future. Sherrie Pace replied that they could amend the plat or do a lot line
304 adjustment in the future.

305
306 Commissioner Larson asked if it would be a burden for the Commission to require them to
307 ensure the lot line was in compliance. The Buehners discussed this item privately. Matt Buehner
308 then replied that they would be amenable to moving the lot line into compliance by 15 feet or
309 whatever that might be.

310
311 Commissioner Van Langeveld asked if she needed to specify in the motion that lot 2 would be
312 expanded to meet the 10,000 square foot requirement. Mackenzie Bennett recommended that the
313 motion was specific.

314
315 **Commissioner Van Langeveld moved that the Planning Commission recommend to the**
316 **City Council the concept plan for Altyn Vista PUD, a four lot subdivision at 340 and 360**
317 **North Orchard Drive with the following condition:**

318
319 **1) Lot 2 will be expanded to 10,000 square feet.**

320
321 **Commissioner Larson seconded the motion. The motion was approved by Commissioners**
322 **Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

323
324 **5. CONSIDERATION OF A CONDITIONAL USE PERMIT FOR A RETAINING WALL**
325 **GREATER THAN 3 FEET IN A FRONT YARD PUBLIC UTILITY EASEMENT AT**
326 **444 ROSEWOOD LANE, CHELSEA CARROLL, APPLICANT**

327
328 Mackenzie Bennett reported that retaining walls over three feet in height that are within a front
329 setback require a conditional use permit. She showed an aerial view of the property, which was
330 located on a corner lot at 448 Rosewood Lane. The applicant would like to flatten and raise the
331 existing side yard to create a safer place for their children to play. In order to do this two new
332 retaining walls would need to be installed. The side retaining wall, adjacent to Eaglewood Loop,
333 would be eight feet tall at its tallest point and slope down into the existing retaining wall. This

334 wall would remain five feet away from any utility boxes and would be constructed of rock to
335 compliment what was already existing. This retaining wall has been structurally engineered. The
336 back retaining wall would be eight feet tall in height for the entire stretch of the back property
337 line. It would be a block retaining wall and has also been structurally engineered. The DRC
338 recommends approval of the conditional use permit for the retaining wall with no conditions.

339

340 Chelsea Carroll commented that the neighbors were aware of the proposal. She said that the main
341 driver for the change was due to the steepness of the slope and the safety of her children.

342

343 **Commissioner Jorgensen moved that the Planning Commission approve the conditional**
344 **use permit for the Carroll Retaining Wall located at 444 Rosewood Lane with no**
345 **conditions. Commissioner Ward seconded the motion. The motion was approved by**
346 **Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

347

348 6. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY
349 PLANNING COMMISSION

350

351 Sherrie Pace had nothing to report.

352

353 7. APPROVAL OF MINUTES

354

355 The Planning Commission meeting minutes of February 23, 2021 were reviewed and approved.

356

357 **Commissioner Larson moved that the Planning Commission approve the minutes from the**
358 **February 9, 2021 meeting as amended. Commissioner Van Langeveld seconded the motion.**
359 **The motion was approved by Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker,**
360 **Van Langeveld and Ward.**

361

362 Commissioner Jorgensen spoke on the subdivision and the geological hazards. He asked about
363 the sensitive land overlay zone and where additional information could be found. Sherrie Pace
364 showed those present where to view information on the City's website related to sensitive land
365 overlays and City ordinances.

366

367 The Commission discussed the ordinances and the possibility of an overall cleanup of the code
368 as well as the sensitive overlay zone and what this entailed.

369

370 Chair Knowlton suggested that the City's maps, which referred to a hazard, were not
371 geographically aligned with the best information and needed to be modified. Sherrie Pace replied
372 that this was added to the long term action items list.

373 8. ADJOURN

374

375 Chair Knowlton adjourned the meeting at 7:58 p.m.

376

377 *The foregoing was approved by the Planning Commission of the City of North Salt Lake on*
378 *Tuesday March 23, 2021 by unanimous vote of all members present.*

379

380

381

382

Linda Horrocks, City Recorder