



CITY OF NORTH SALT LAKE  
COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

**NORTH SALT LAKE PLANNING COMMISSION  
NOTICE & AGENDA  
April 13, 2021  
6:30 p.m.**

**ELECTRONIC MEETING LINK: <https://bit.ly/3rVIE9G>**

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council chambers located at 10 East Center Street. The agenda will be as follows:

- 1) Proclamation by Planning Commission Chair Regarding Electronic Meeting
- 2) Welcome, Pledge, and Introduction
- 3) Public comments
- 4) Consideration of site plan approval for Wasatch Container Addition at 645 North 400 West, Travis Davis, applicant
- 5) Consideration of site plan approval for Cyprus Credit Union NSL at 450 East 1100 North, Michelle MacDonnell, applicant
- 6) Consideration of a Conditional Use Permit for R&R Machine Service at 450 West 100 North, Derek Vockel, applicant
- 7) Consideration of site plan amendment approval for Love Carpet Cleaning at 580 North Main Street, Greg Love, applicant
- 8) Report on City Council actions on items recommended by Planning Commission
- 9) Approval of minutes:
  - a. 3/23/2021

Adjourn

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours' notice for adequate arrangements to be made. The agenda items may be heard in a different order as warranted by the Commission.

**Notice of Posting:**

I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this 8 day of April, 2021.

Dated this 8 day of April, 2021.

*Sandra D. Herron*



PROCLAMATION  
OF THE  
CITY OF NORTH SALT LAKE  
PLANNING COMMISSION

WHEREAS, the Planning Commission Chair has determined that conducting public meetings of the Planning Commission with an anchor location where the public could attend in person, presents a substantial risk to the health and safety of those who may be present at that location based upon the current Covid-19 pandemic and the limited staff support to properly ensure physical distancing and sufficient disinfection for attendees and staff.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission shall hold meetings for the month of April 2021 by electronic means only, and will not include an anchor location where the public could attend in person.

Dated: April 13, 2021

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Ted Knowlton, Chair



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** April 13, 2021  
**SUBJECT:** Site Plan for Wasatch Container Addition, 645 North 400 West

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### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the site plan for the Wasatch Container Addition located at 645 North 400 West with the following condition(s):

1. Relocate the southernmost driveway a minimum of 8 feet from the property line, per NSL Code 10-6-2;
2. Provide the City a letter of approval or Flood Control Permit from Davis County Public Works regarding the culvert design.

### BACKGROUND

Located at 645 North 400 West (Parcel 01-131-0058), Wasatch Container is expanding their operations to the lot south of their existing property. The southern lot's recorded address is 625 North 400 West (Parcel 01-131-059). The lots will be combined prior to any permits being issued. The combined lots will create a single lot that is 5.09 acres (221,583 sq ft) in size. This project is located within the Manufacturing-Distribution (MD) zone.

The southern lot has four existing buildings to be removed. Once cleared, Wasatch Container plans to construct an addition to the existing building on the northern lot. The existing Wasatch Container building is approximately 32,691 square feet and the proposed addition is 75,994 square feet. The total building footprint will be 108,685 sq ft. The total square footage of the building is expected to be approximately 117,957 sq ft. The applicant plans to use 19,484 sq ft as office and 88,250 dedicated to warehouse uses.

### REVIEW

The applicant plans to provide 90 parking stalls, five ADA compliant stalls and eight bicycle spaces. The provided quantity of parking stalls does not meet City Code 10-6-5. The table below shows that 138 total parking stalls are required for the proposed building and its subsequent uses.

	Parking Code (10-6-5)	Floor Space	Required
Office	1 stall per 250 sq ft for first 20,000 sq ft	19,484 sq ft	78
Warehouse	2 stalls per 1,000 sq ft for first 10,000 sq ft, plus 1 stall per 2,000 sq ft of remaining space	88,250 sq ft	60
		<b>Total Required</b>	<b>138</b>

The current site plan is short 48 parking stalls per City Code. The DRC is not concerned about the proposed site plan being under parked because the uses are not expected to generate high levels of parking or traffic. Section 10-6-5 (J) provides that the Planning Commission upon the advice of the Community Development Director shall determine the minimum required off street parking. On February 19, 2021, Wasatch Container wrote a letter to the City stating the following:

“Wasatch Container currently employs 37 people at 645 N 400 W North Salt Lake, UT. 84054. We have 26 parking stalls in the front of our building, 2 of which are handicapped and 2 designated for customers. We do not have a heavy flow of customers coming into our building so 3-5 visitor stalls should be sufficient with the expansion.

While we are expanding the building, we are putting in new equipment that will diminish the need for an excessive number of new hires. Additionally, part of our staff works from home full time or part time. We will also retain the ability to parallel park along the north side of our building. All this considered, 50 parking stalls should be sufficient.”

Per City Code 10-11-3, the minimum landscape percentage is 10% in the MD zone. The proposed site plan provides 23,351 sq ft of landscaping equating to 10.54% which meets the standard. As part of the project, the Davis County drainage ditch will be culverted. Thus the applicant will be required to obtain a permit from the Davis County Public Works prior to beginning work.

## **ARCHITECTURAL REVIEW**

The City’s non-residential building design standards aim to improve the quality of construction and architectural aesthetics in non-residential areas of the City. The standards call for all buildings that are visible from a public right of way comply with the standards. The proposed building addition meets architectural design guidelines and is compliant with code.

### **Massing**

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*max height 45 feet (meets standard)*
- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*

- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (meets standard)*

#### **Materials**

- High quality materials-factory finished, integrally colored, or otherwise suitably treated- **(meets standard)**
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%)- **(meets standard)**
- Metal roofs & doors permitted **(meets standard)**

#### **POSSIBLE MOTION**

I move that the Planning Commission approve the site plan for the Wasatch Container Addition located at 645 North 400 West with the following condition(s):

1. Relocate the southernmost driveway a minimum of 8 feet from the property line, per NSL Code 10-6-2;
2. Provide the City a letter of approval or Flood Control Permit from Davis County Public Works regarding the culvert design.

#### **Attachments**

- 1) Aerial/Zoning Map
- 2) Site Plan
- 3) Elevations
- 4) Landscape Plan



# Wasatch Container Addition - Site Plan

## 645 North 400 West

### Zoning

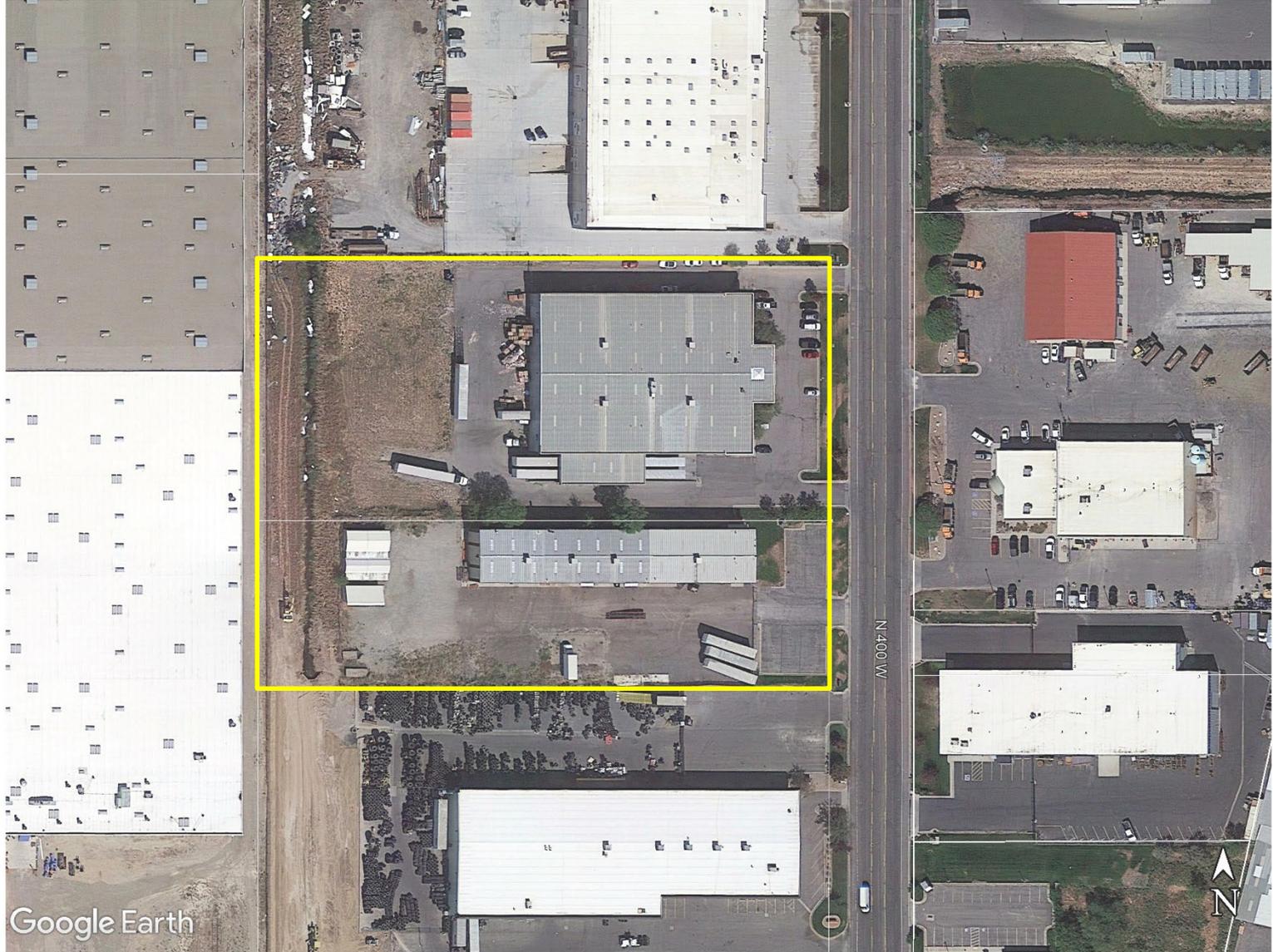


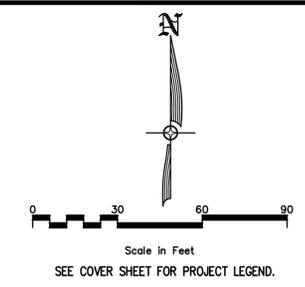
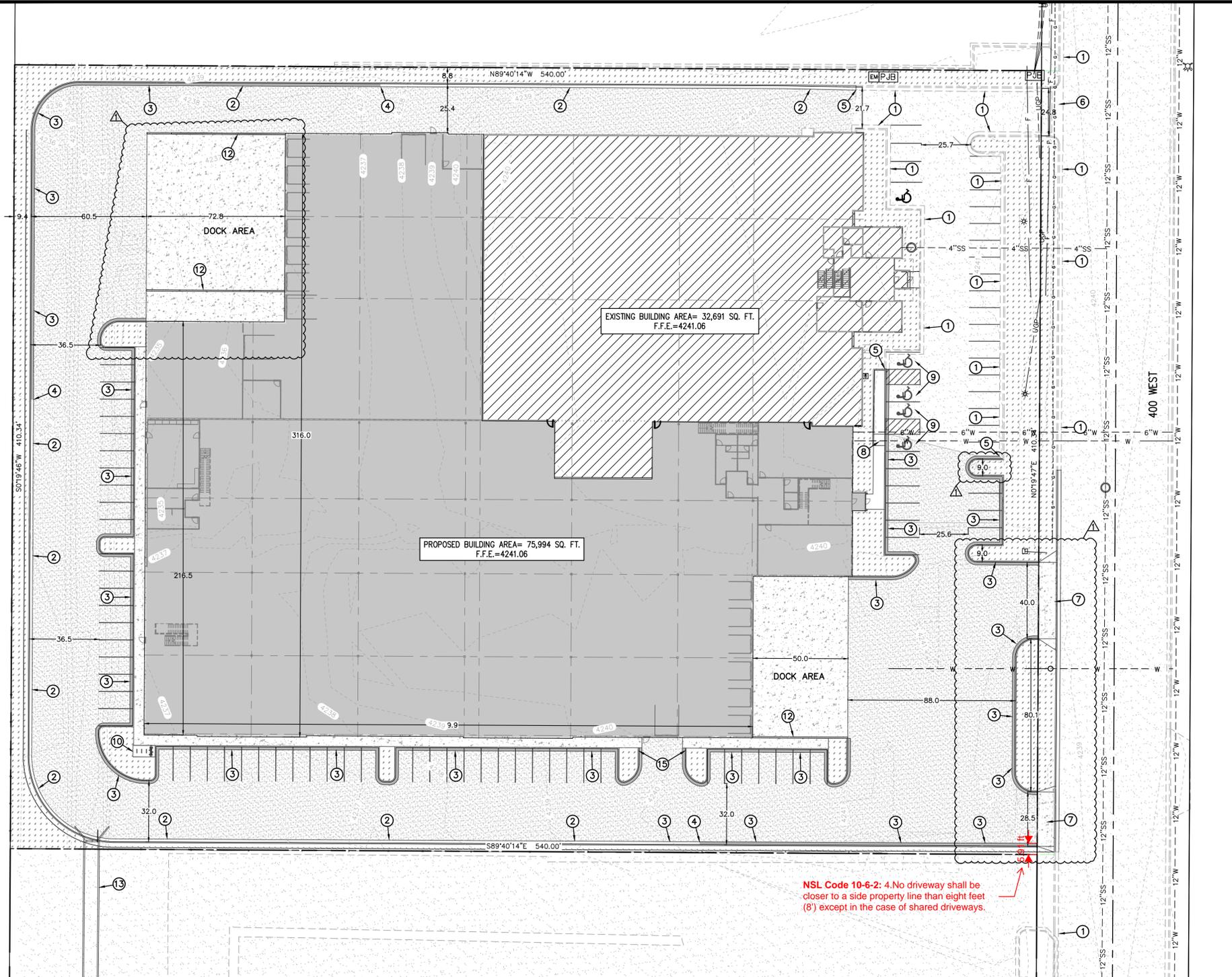


# Wasatch Container Addition - Site Plan

## 645 North 400 West

### Aerial





**LOT AREAS:**

LOT	SQ. FT. / ACRES
TOTAL BUILDING FOOTPRINT	221,583 SQ. FT. / 5.09 ACRES
EXISTING ASPHALT	107,731 SQ. FT. / 2.47 ACRES
PROPOSED ASPHALT	61,889 SQ. FT. / 1.42 ACRES
LANDSCAPING	23,351 SQ. FT. / 0.54 ACRES
CONCRETE	18,506 SQ. FT. / 0.42 ACRES

**NOTE:**  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT LANDSCAPING AREAS:**

SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING	23,351 SQ. FT. (10% REQUIRED: 10.54% PROVIDED)

**NOTE:**  
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.  
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).  
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT PARKING REQUIREMENTS:**

SQ. FT.	CITY REQ'MT
OFFICE	19,484 SQ. FT. 78 (250 FIRST 20,000, 300 AFTER)
WAREHOUSE	88,250 SQ. FT. 66 (1000 FIRST 10,000, 2000 AFTER)
TOTAL REQUIRED:	144
TOTAL PROVIDED:	90
ACCESSIBLE SPACES	5 (5 REQ'D 101 TO 150)
BICYCLE SPACES	8 (6.96 REQ'D 8% OF 87)

**NOTES:**  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

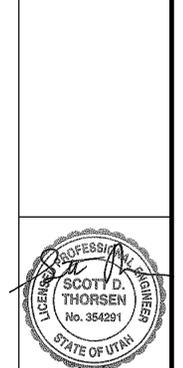
- SITE PLAN NOTES:**
- EXISTING CURB AND GUTTER.
  - PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.0.
  - PROPOSED 24" REVERSE PAN CURB AND GUTTER. SEE DETAIL 2/C4.0.
  - PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER.
  - PROVIDE SMOOTH TRANSITION FROM PROPOSED TO EXISTING CURB & GUTTER.
  - EXISTING DRIVE APPROACH, TO REMAIN.
  - PROPOSED DRIVE APPROACH PER NORTH SALT LAKE CITY STANDARDS. SEE DETAIL ON SHEET C5.0.
  - PROPOSED ADA RAMP. SEE DETAIL 4/C4.0.
  - PROPOSED ADA STALLS & ADA SIGNS. ADA STALL TO BE INSTALLED PER NORTH SALT LAKE CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET 15/C4.0 AND 16/C4.0.
  - PROPOSED BIKE RACK. SEE DETAIL 5/C4.0.
  - PROPOSED 6' TALL SOLID TRASH & RECYCLING ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - PROPOSED DOCK WALL, SEE STRUCTURAL PLANS FOR DETAILS.
  - EXISTING 3'X7' CONCRETE BOX CULVERT.
  - SAW CUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO TIE INTO.
  - CONTRACTOR TO TAPER CURB DOWN TO SIDEWALK. SEE DETAIL 4/C4.0.

ROW	DATE	BY	DATE
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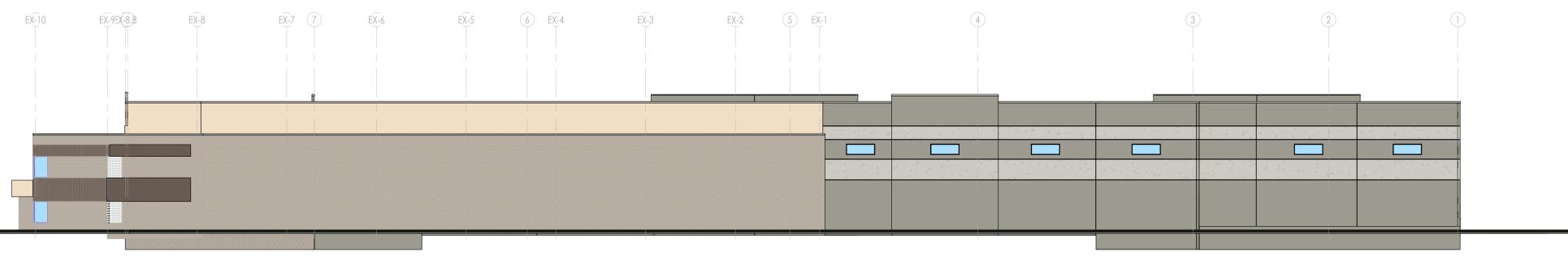
REVISIONS  
DESIGNER: SDT  
PROJECT ENGINEER: SDT

**CIR**  
**ENGINEERING, L.L.C.**  
3032 SOUTH 1030 WEST, SUITE 202  
S.L.C. Utah 84119 - 801-949-6296

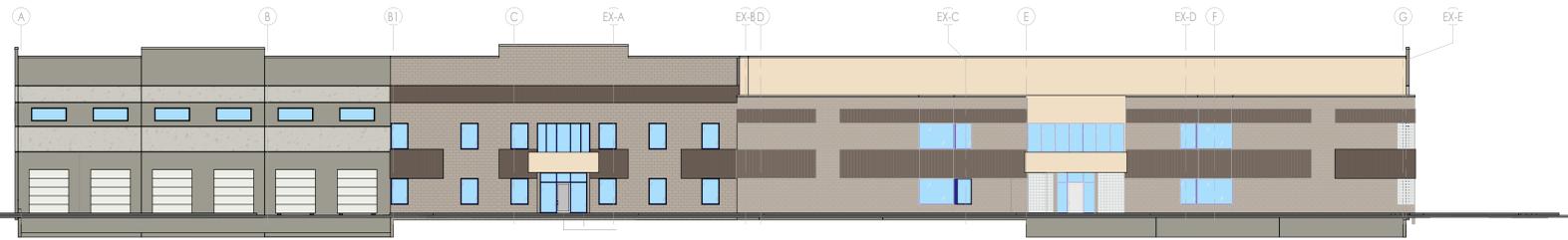
WASATCH CONTAINER  
645 NORTH 400 WEST, NORTH SALT LAKE CITY, UTAH  
SITE PLAN



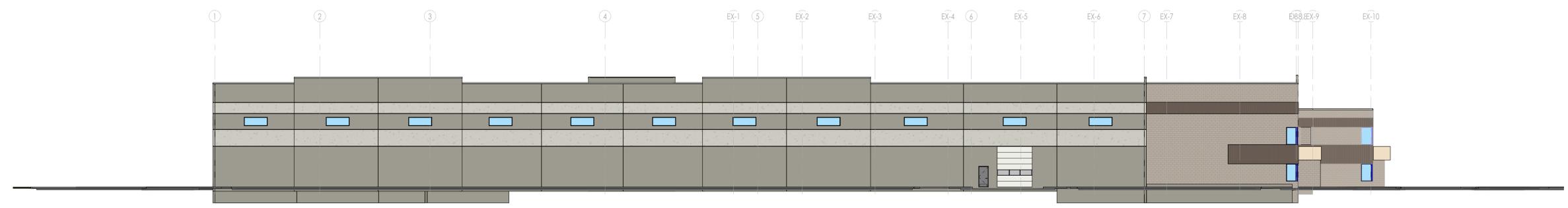
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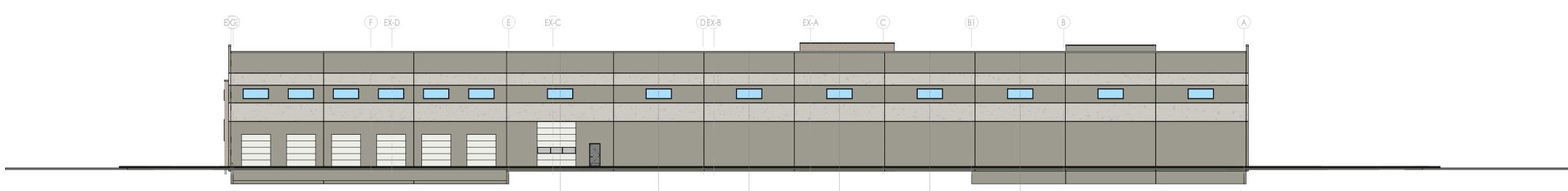
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2 EAST ELEVATION  
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1/16" = 1'-0"



3 SOUTH ELEVATION  
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1/16" = 1'-0"



4 WEST ELEVATION  
A201  
1/16" = 1'-0"

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	=EXPOSED SAND BLASTED ARCHITECTURAL CONCRETE
	=STUCCO EIFS SYSTEM
	=ARCHITECTURAL COLORED CMU
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ARCHITECTURAL FLUTED COLOR CMU	0	0%
EXPOSED ARCHITECTURAL CONCRETE	4519	57%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	1721	22%
<b>TOTAL</b>	<b>7984</b>	<b>100%</b>

EAST ELEVATION		
	SQFT	%
STUCCO EIFS SYSTEM	1416	19%
ARCHITECTURAL COLOR CMU	2329	32%
ARCHITECTURAL FLUTED COLOR CMU	642	9%
EXPOSED ARCHITECTURAL CONCRETE	2060	28%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	847	12%
<b>TOTAL</b>	<b>7294</b>	<b>100%</b>

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	SQFT	%
STUCCO EIFS SYSTEM	0	0%
ARCHITECTURAL COLORED CMU	1745	14%
FLUTED CMU	365	3%
EXPOSED ARCHITECTURAL CONCRETE	7135	58%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	3066	25%
<b>TOTAL</b>	<b>12311</b>	<b>100%</b>

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	SQFT	%
STUCCO EIFS SYSTEM	0	0%
ARCHITECTURAL COLORED CMU	0	0%
ARCHITECTURAL FLUTED COLOR CMU	3048	28%
EXPOSED ARCHITECTURAL CONCRETE	7846	72%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	0	0%
<b>TOTAL</b>	<b>10894</b>	<b>100%</b>

**PROJECT NAME**  
**CLIENT NAME**  
**PROJECT ADDRESS**

MARK	DESCRIPTION	Revision Date

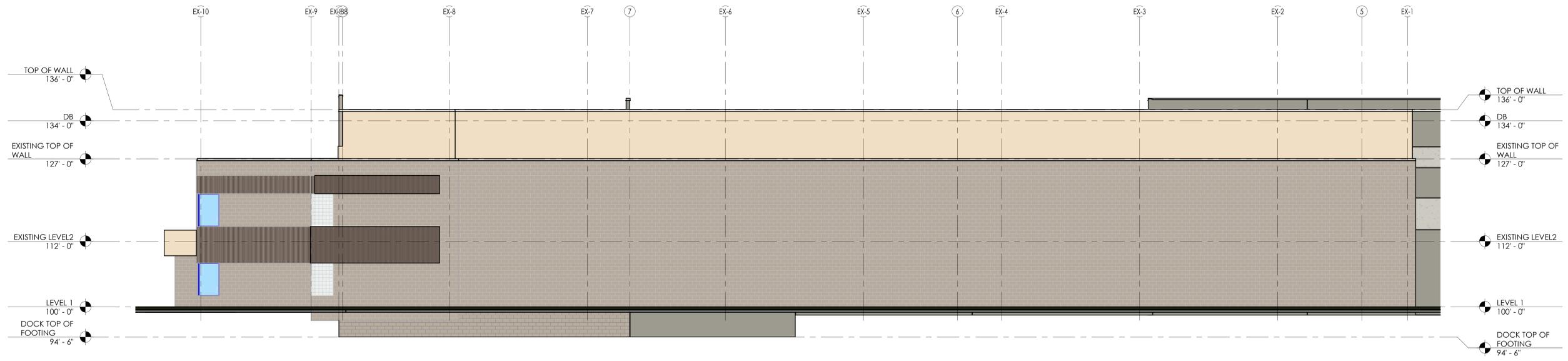
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**ELEVATION**

DATE: 2021.03.02

SHEET #:

**A201**

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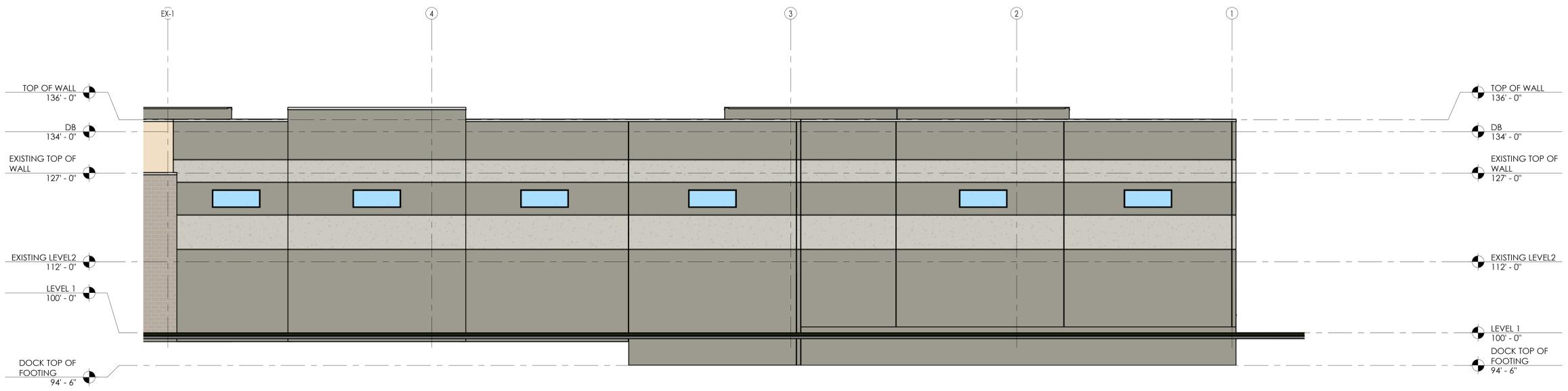
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WEST ELEVATION	SQFT	%
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-  = EXPOSED ARCHITECTURAL CONCRETE
-  = EXPOSED SAND BLASTED ARCHITECTURAL CONCRETE
-  = STUCCO EIFS SYSTEM
-  = ARCHITECTURAL COLORED CMU
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MARK	REVISION	DESCRIPTION	DATE

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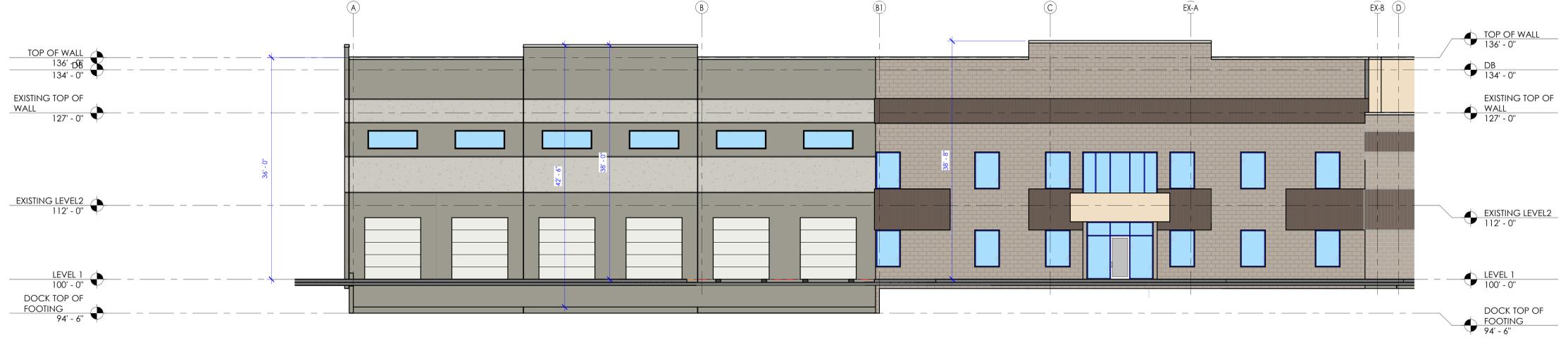
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**CLIENT NAME**  
**PROJECT ADDRESS**

MARK	REVISION SCHEDULE	DESCRIPTION	REVISION DATE

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**ENLARGED ELEVATION - EAST**  
DATE: 2021.03.02  
SHEET #:  
**A203**  
COPYRIGHT ©  
AEURBIA, LLC.

03/02/2021 4:50:48 PM PROJECT STATUS



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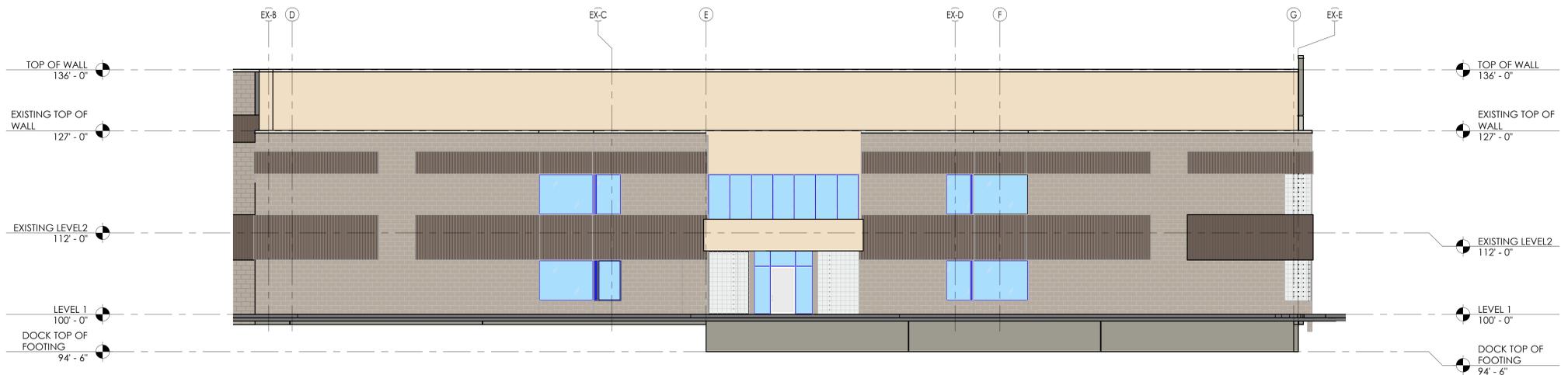
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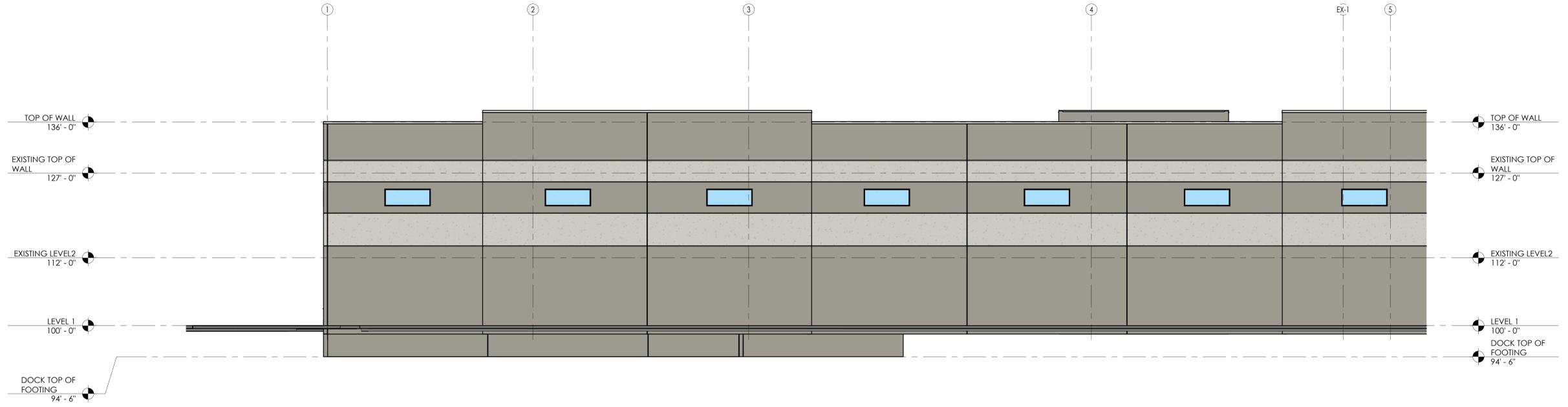
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**2 EAST ELEVATION - ENLARGED - 2**  
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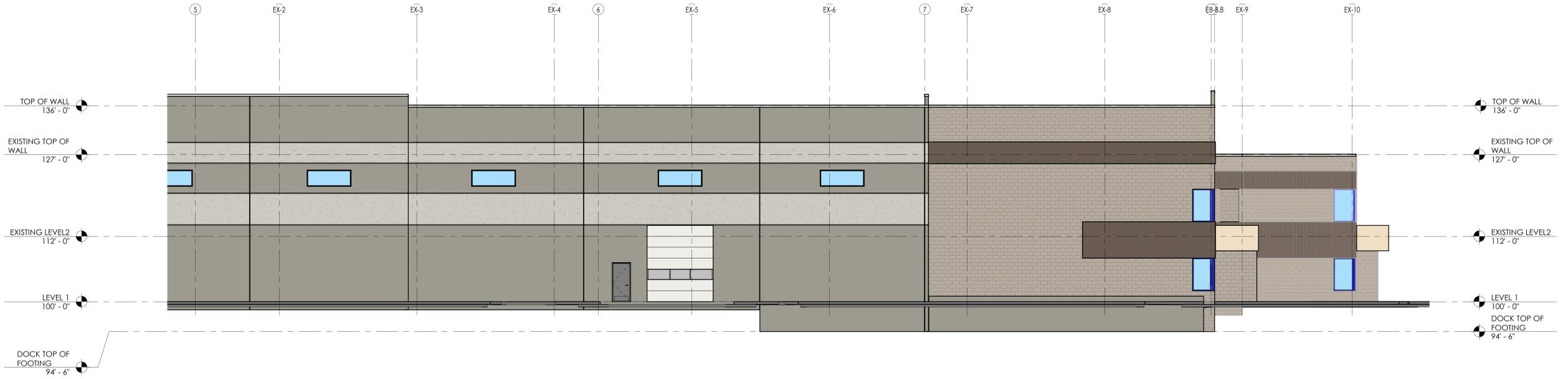
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2 SOUTH ELEVATION - ENLARGED - 2  
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**PROJECT NAME**  
**CLIENT NAME**  
**PROJECT ADDRESS**

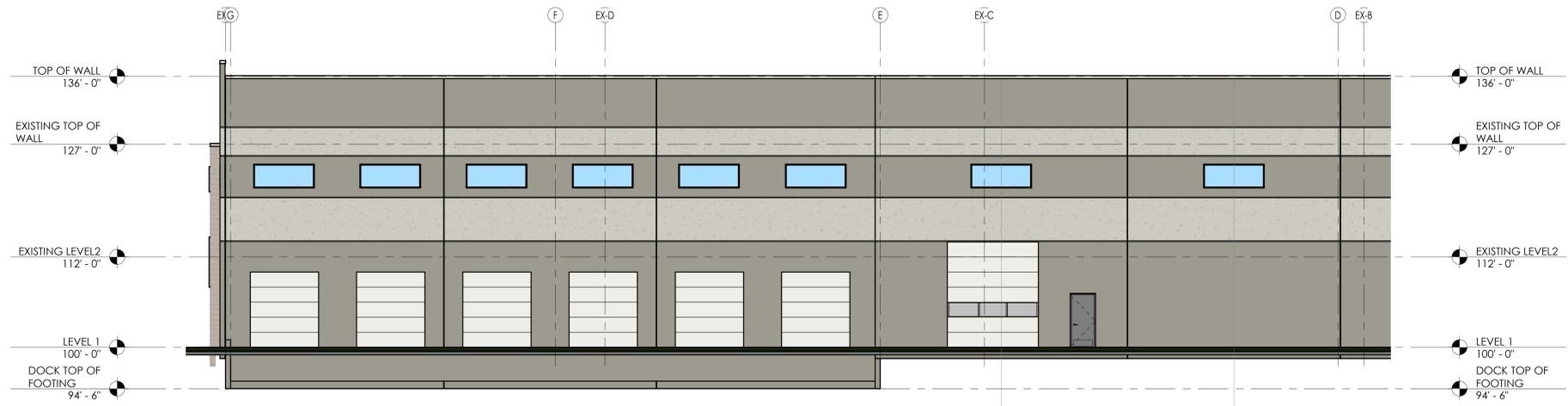
MARK	REVISION	SCHEDULE	DATE

**AE2021.070**  
**ENLARGED ELEVATION - SOUTH**

DATE: 2021.03.02

SHEET #:

**A204**



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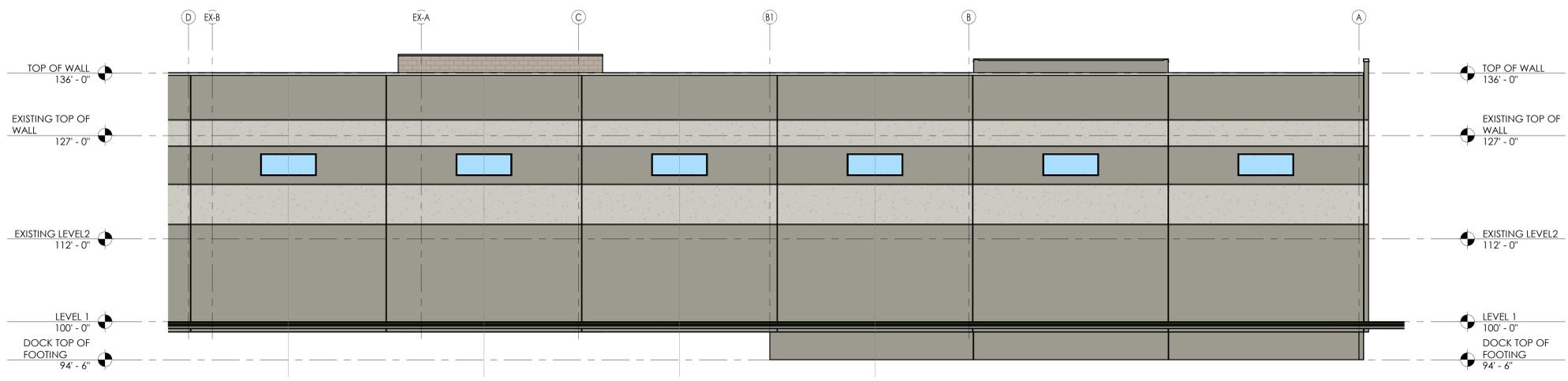
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EXPOSED ARCHITECTURAL CONCRETE	2060	28%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	847	12%
<b>TOTAL</b>	<b>7294</b>	<b>100%</b>

SOUTH ELEVATION	SQFT	%
STUCCO EIFS SYSTEM	0	0%
ARCHITECTURAL COLORED CMU	1745	14%
FLUTED CMU	365	3%
EXPOSED ARCHITECTURAL CONCRETE	7135	58%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	3066	25%
<b>TOTAL</b>	<b>12311</b>	<b>100%</b>

WEST ELEVATION	SQFT	%
STUCCO EIFS SYSTEM	0	0%
ARCHITECTURAL COLORED CMU	0	0%
ARCHITECTURAL FLUTED COLOR CMU	3048	28%
EXPOSED ARCHITECTURAL CONCRETE	7846	72%
EXPOSED SANDBLASTED ARCHITECTURAL CONCRETE	0	0%
<b>TOTAL</b>	<b>10894</b>	<b>100%</b>

-  = EXPOSED ARCHITECTURAL CONCRETE
-  = EXPOSED SAND BLASTED ARCHITECTURAL CONCRETE
-  = STUCCO EIFS SYSTEM
-  = ARCHITECTURAL COLORED CMU
-  = ARCHITECTURAL COLORED FLUTED CMU



**2 WEST ELEVATION - ENLARGED - 2**  
 A205 1/8" = 1'-0"

**PROJECT NAME**  
**CLIENT NAME**  
**PROJECT ADDRESS**

MARK	REVISION	SCHEDULE	DATE

**AE2021.070**  
**ENLARGED ELEVATION - WEST**  
 DATE: 2021.03.02  
 SHEET #:  
**A205**  
 PROJECT STATUS  
 03/02/2021 4:50:53 PM  
 COPYRIGHT © AE URBIA, LLC.

# LANDSCAPE PLAN SPECIFICATIONS

## PART I - GENERAL

### 1.1 SUMMARY

A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:

1. Site Conditions
2. Guarantees
3. Maintenance
4. Soil Amendments
5. Fine Grading
6. Landscape Edging
7. Furnish and Installing Plant
8. Turf Planting
9. Weed Barrier

### 1.2 SITE CONDITIONS

A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents as to a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Representative and the necessary changes shall be accomplished by Addendum.

B. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.

C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

### 1.3 PERMITS

A. Blue Stake / Dig Line: When digging is required, "Blue Stake" or "Dig Line" the work site and identify the approximate location of all known underground utilities or structures.

### 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY

A. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unobtainable, written substitution requests will be considered for the nearest equivalent plant size. All substitution requests must be made in writing and preferably before the bid due date.

### 1.5 FINAL INSPECTION

A. All plants will be inspected at the time of Final Inspection prior to receiving a Landscape Substantial Completion for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Representative will be rejected and replaced immediately.

### 1.6 LANDSCAPE SUBSTANTIAL COMPLETION

A. A Substantial Completion Certificate will not be issued by the Project Representative for "landscape and irrigation" in their entirety. Substantial Completion will not be proportionally to be designated areas of a project.

### 1.7 MAINTENANCE

A. Plant Material: The Contractor is responsible to maintain all planted materials in a healthy and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-guying and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due to improper application of water.

### 1.8 GUARANTEE

A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs, and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any plant will only need to be replaced once during the guarantee period. Contractor to provide documentation showing where each plant to be replaced is located. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be part of the guarantee.

## PART II - PRODUCTS

### 2.1 LANDSCAPE MATERIALS

- A. Tree Staking: All trees shall be staked for one year warranty period. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.
- B. Tree Wrap: Tree wrap is not to be used.
- C. Mulch/Rock: See Plans. All planter beds to receive a minimum 3" layer for trees, shrubs, and perennials and 1" for groundcovers.
- D. Weed Barrier: DeWitt 5 oz. weed barrier fabric. Manufactured by DeWitt Company, dewittcompany.com or approved equal.
- E. Tree, Shrub, and Grass Backfill Mixture: Backfill mixture to be 75% native soil and 25% topsoil, thoroughly mixed together prior to placement.
- F. Topsoil: Required for turf areas, planter beds and Backfill Mixture. Acceptable topsoil shall meet the following standards:
- a. PH: 5.5-7.5
  - b. EC (electrical conductivity): < 2.0 mmhos per centimeter
  - c. SAR (sodium absorption ratio): < 3.0
  - d. % OM (percent organic matter): >1%
  - e. Texture (particle size per USDA soil classification): Sand <70%; Clay <30%; Silt <70%; Stone fragments (gravel or any soil particle greater than two (2) mm in size) < 5% by volume.
- G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial soil farm shall be used. Only use sod from a single source.

### H. Landscape Curb Edging: six (6) inches by four (4) inches extruded concrete curb made up of the following materials:

- a. Washed mortar sand free of organic material.
  - b. Portland Cement (see concrete spec. below for type)
  - c. Reinforced fiber - Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites.
  - d. Only potable water for mixing.
- I. Landscape Metal Edging: 5.5" steel edging with 18" dowels into the ground for stabilization.

## PART III - EXECUTION

### 3.1 GRADING

- A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.
- B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of one (1) inches for planters below grade of adjacent paved surface. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site.
- C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

### 3.2 TURF GRADING

- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

### 3.3 PLANTING OPERATIONS

- A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Prepare all holes according to the details on the drawings.
- B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.
- C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines.
- D. The tree planting hole should be the same depth as the root ball, and two times the diameter of the root ball.
- E. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- G. Plant immediately after removal of container for container plants.

H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.

I. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.

J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added. It should be a coarser mix as required to establish finish grade as indicated on the drawings.

K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.

L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.

### 4. TURF - SOD LAYING

A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis.

B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of 1/2 pound of nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.

C. Sod Availability and Condition: Sod is to be delivered to the site in good condition. It is to be inspected upon arrival and installed within 24 hours. Sod is to be moist and cool to ensure that decomposition has not begun and is to be free of pests, diseases, or blight. The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and laying all sod required on the plans. He shall furnish new sod as specified above and lay it so as to completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to commencing the work.

D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified in the detail and be lightly watered before laying. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.

E. Sod shall be tamped lightly as each piece is set to ensure that good contact is made between edges and also the ground. If voids or holes are discovered, the sod piece(s) is (are) to be raised and topsoil is to be used to fill in the areas until level. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.

F. Sod shall be rolled with a roller that is at least 50% full immediately after installation to ensure the full contact with soil is made.

G. Apply water directly after laying sod. Rainfall is not acceptable.

H. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner to the end of the Maintenance period. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system. It is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.

I. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set at appropriate distances with string or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc. until such time as the lawn is accepted by the Owner.

J. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

### 3.5 WEED BARRIER

- A. For the health of the soil and the microorganisms, weed barrier is not recommended. If use is required or requested, do not place in annual or grass areas.
- B. Cut weed barrier back to the edge of the plant rootball.
- C. Overlap rows of fabric min. 6"
- D. Stable fabric edges and overlaps to ground.

### END OF SECTION

## LANDSCAPE NOTES

### INSTALLATION

1. LANDSCAPE CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED PRIOR TO DIGGING. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
2. DURING THE BIDDING AND INSTALLATION PROCESS, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
3. ALL PLANT MATERIAL SHALL BE PLANTED ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS WITH CONSIDERATION TO INDIVIDUAL SOIL AND SITE CONDITIONS, AND NURSERY CARE AND INSTALLATION INSTRUCTIONS.
4. SELECTED PLANTS WILL BE ACCORDING TO THE PLANT LEGEND. IF SUBSTITUTIONS ARE NECESSARY, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO LAYING SOD.
5. SHOULD THE SITE REQUIRE ADDITIONAL TOPSOIL, REFER TO SOIL TEST WHEN MATCHING EXISTING SOIL. IF A MATCHING SOIL IS NOT LOCATABLE, A 6" DEPTH OF SANDY LOAM TOPSOIL (MIXED PRIOR TO SPREADING WITH 2-3" OF QUALITY COMPOST) CAN BE INCORPORATED INTO THE EXISTING SOIL USING THE FOLLOWING DIRECTIONS: SCARIFY TOP 6" OF EXISTING SUBSOIL AND INCORPORATE 3" OF NEW COMPOST ENRICHED TOPSOIL. SPREAD REMAINING TOPSOIL TO REACH FINISHED GRADE.
6. SOD FOR NEW LAWN AREAS SHALL BE A DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
7. EDGING, AS INDICATED ON PLAN, IS TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS. ANY TREES LOCATED IN LAWN MUST HAVE A 4-6" TREE RING OF THE SAME EDGING.
8. IF REQUIRED BY CITY OR OWNER SPECIFIED, DEWITT 5 OZ WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN. WEED BARRIER SHALL BE CUT BACK FROM EACH PLANT TO THE DIAMETER OF THE ROOTBALL.
9. ROCK MULCH (INORGANIC MULCH) TO BE APPLIED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL (ORGANIC MULCH); NO MULCH SHALL BE PLACED WITHIN 12" OF BASE OF TREE AND 6" WITHIN BASE OF SHRUBS AND PERENNIALS.
10. A NEW UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED BY CONTRACTOR IN ALL LANDSCAPED AREAS, LAWN AREAS TO RECEIVE AT LEAST 100% HEAD TO HEAD COVERAGE AND PLANTER AREAS TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB. POINT SOURCE DRIP OR IN-LINE DRIP TUBING TO BE SECURED AT EDGE OF ROOTBALL, NOT AGAINST TRUNK. SEE IRRIGATION PLAN.
11. UPON REQUEST, A PLANT GUIDE IS AVAILABLE WITH OUR RECOMMENDATIONS REGARDING WEED BARRIER, PLANT CARE AND MAINTENANCE.

### INSTALLER RESPONSIBILITIES AND LIABILITIES

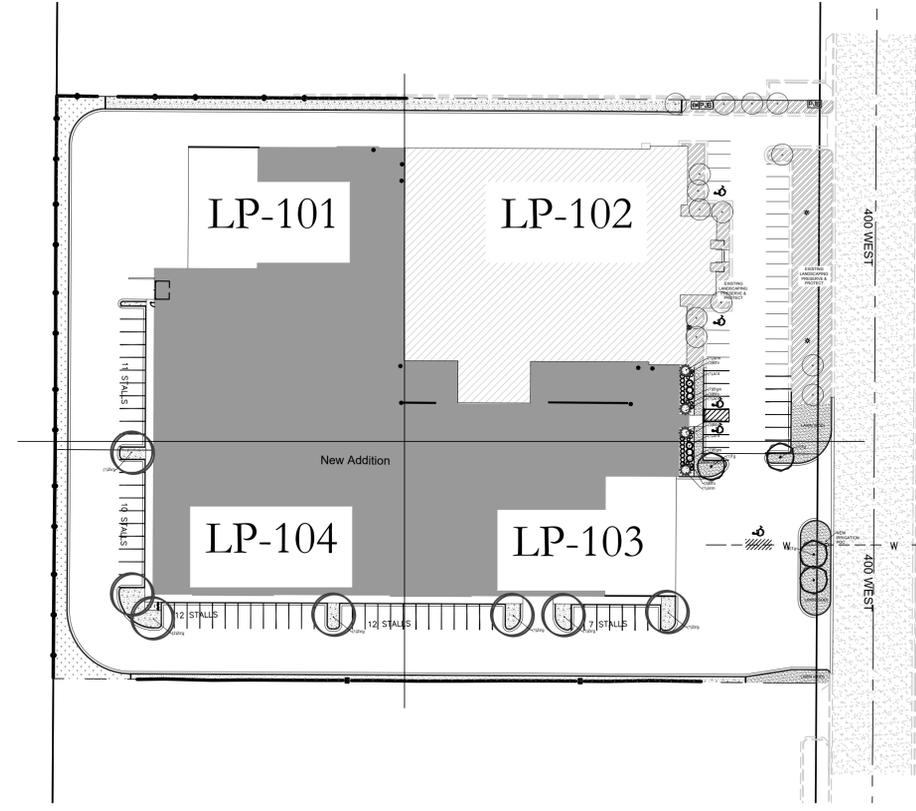
1. THESE PLANS ARE FOR BASIC DESIGN LAYOUT AND INFORMATION. LANDSCAPE CONTRACTOR IS REQUIRED TO USE TRADE KNOWLEDGE FOR IMPLEMENTATION. OWNER ASSUMES NO LIABILITIES FOR INADEQUATE ENGINEERING CALCULATIONS, MANUFACTURER PRODUCT DEFECTS, INSTALLATION OF ANY LANDSCAPING AND COMPONENTS, OR TIME EXECUTION.
2. LANDSCAPE CONTRACTOR IS RESPONSIBLE AND LIABLE FOR INSTALLATION OF ALL LANDSCAPING AND IRRIGATION SYSTEMS INCLUDING CODE REQUIREMENTS, TIME EXECUTIONS, INSTALLED PRODUCTS AND MATERIALS.

### GRADING AND DRAINAGE REQUIREMENTS

1. AS PER CODE, ALL GRADING IS TO SLOPE AWAY FROM ANY STRUCTURE. SURFACE OF THE GROUND WITHIN 10' FEET OF THE FOUNDATION SHOULD DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM FALL OF 6"
2. AS PER CODE, FINISHED GRADE WILL NOT DRAIN ON NEIGHBORING PROPERTIES
3. A MINIMUM OF 6" OF FOUNDATION WILL BE LEFT EXPOSED AT ALL CONDITIONS
4. LANDSCAPE CONTRACTOR TO MAINTAIN OR IMPROVE FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY EXCAVATOR, INCLUDING BUT NOT LIMITED TO ANY MAINTENANCE, PRESERVATION, OR EXAGGERATION OF SLOPES, BERMS, AND SWALES.
5. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CORRECT ANY DAMAGED OR IMPROPER WATERFLOW OF ALL SWALES, BERMS, OR GRADE.
6. DEVICES FOR CHANNELING ROOF RUN-OFF SHOULD BE INSTALLED FOR COLLECTION AND DISCHARGE OF RAINWATER AT A MINIMUM OF 10' FROM THE FOUNDATION, OR BEYOND THE LIMITS OF FOUNDATION WALL BACKFILL, WHICHEVER DISTANCE IS GREATER

## SHEET INDEX

LP-101	LP-102
LP-104	LP-103



## PLANT LEGEND

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	Tg	4	Tilia cordata 'Greenspire' Greenspire Linden	B & B	2'	2' Cal
	Zsg	7	Zelkova serrata 'Green Vase' Green Vase Zelkova	B & B	2'	2' Cal
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	Jsm	4	Juniperus scopulorum 'Moonglow' Moonglow Juniper	B & B		5'-6"
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	Bfo	12	Berberis thunbergii 'Orange Rocket' Orange Rocket Barberry	5 gal		
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	Bgm	14	Buxus x 'Green Mountain' Green Mountain Boxwood	5 gal		
	Jc'd	6	Juniperus chinensis 'Daub's Frosted' Daub's Frosted Juniper	5 gal		

## SITE MATERIALS LEGEND

SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1-01 SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 10% 'BLUESTAR' KENTUCKY BLUEGRASS, 17% 'MARQUIS' KENTUCKY BLUEGRASS, 17% 'NEWPORT' KENTUCKY BLUEGRASS, 17% 'TOUCHDOWN' KENTUCKY BLUEGRASS, 16% 'APM' PERENNIAL RYEGRASS, 13% 'ACCENT' PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTATORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4") DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	3,438 sf
	1-02 EXISTING LANDSCAPE TO REMAIN. REPLACE IF DESTROYED DURING CONSTRUCTION	8,044 sf
	1-03 STONE MULCH PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL IF TOPSOIL IS PRESENT ON SITE. PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF STONE MULCH TOP DRESSING.	7,075 sf
	1-04 6" CONCRETE MOW CURB	72 lf
	1-05 NATIVE SEED MIX	4,611 sf

### ISSUE DATE

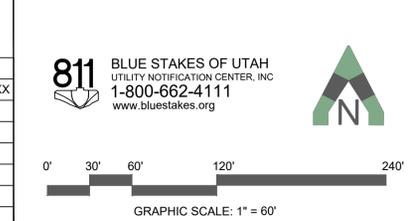
3/2/2021

### PROJECT NUMBER

UT21032

### PLAN INFORMATION

811 BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
1-800-662-4111  
www.bluestakes.org



### PROJECT INFORMATION

WASATCH CONTAINER  
NORTH SALT LAKE CITY, UTAH

### DEVELOPER / PROPERTY OWNER / CLIENT

Developer / Property Owner:  
AE URBIA  
909 W. SOUTH JORDAN PARKWAY  
SOUTH JORDAN, UT 84095  
801-575-6455

Client / Engineer:  
CIR CIVIL ENGINEERING  
3032 SOUTH 1030 WEST, SUITE 202  
SALT LAKE CITY, UT 84119  
801-949-6296

### LANDSCAPE ARCHITECT / PLANNER

PKJ  
DESIGN GROUP  
Landscape Architecture • Planning & Visualization  
3450 N. TRIUMPH BLVD. SUITE 102  
LEHI, UTAH 84043 (801) 960-2698  
www.pkjdesigngroup.com

### LICENSE STAMP



### DRAWING INFO

PM: JTA  
DRAWN: KBA  
CHECKED: JMA  
PLOT DATE: 3/2/2021

**COVER SHEET**  
**PRELIMINARY PLANS NOT FOR CONSTRUCTION**  
**LP-COVER**



## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** April 13, 2021  
**SUBJECT:** Site Plan for Cyprus Credit Union, 450 East 1100 North

---

#### **RECOMMENDATION**

The Development Review Committee (DRC) recommends approval of the site plan for Cyprus Credit Union located at 450 East 1100 North with the following condition(s):

1. Obtain approval from UDOT to construct a sidewalk and retaining wall within their right-of-way;
2. Provide a letter, prior to final occupancy, from a licensed surveyor certifying that the storm drain system has been constructed to the design elevations and that the overall system will operate as designed;
3. Engineering redlines, if any.

#### **BACKGROUND**

Cyprus Credit Union is opening a branch at 450 East 1100 North, which is the property of the now closed Village Inn. The applicant plans to demolish the existing structure on the property to construct a new building. The property is within the Commercial Shopping (CS) zone where banks and credit unions are a permitted use.

The proposed building will be approximately 4,113 sq. ft. in size. In addition to demolishing and reconstructing the building, the applicant will also make site improvements concerning ADA access, parking lot ease of movement and landscaping. With UDOT's approval, the applicant is proposing to create an ADA compliant concrete ramp to allow for walkable access from 1100 North. Parking lot ease of movement will be improved by the addition of parking islands that meet City Code 10-6-7 requirements. Landscaping will be improved across the entire lot with the addition of trees, shrubs and other vegetation.

The property shares driveway access with surrounding businesses. The applicant has proactively approached the neighboring businesses to ensure there are no negative impacts caused to other businesses by the development of the credit union. The property may be accessed from 500 East or 400 East.

Business will be conducted between 9:00 AM to 6:00 PM Monday through Friday and 9:00 AM to 3:00 PM on Saturday. Standard business operations include teller transactions, opening of accounts, lending and other financial needs. There will be a maximum of seven employees onsite during peak business hours.

## **REVIEW**

NSL Code 10-6-5 requires banks or financial institutions to provide one parking stall per 250 sq. ft. of floor area and four stacking spaces per drive-up window. With a square footage of approximately 4,113, this business will require a minimum of 17 parking stalls. They have provided 35, two of which are ADA compliant. All drive-up windows or ATMs have enough space to stack a minimum of four vehicles each. The proposed plan is compliant with parking code.

Per City Code 10-11-3, the minimum landscape percentage is 10% in the CS zone. The proposed plan provides 8,103 sq. ft. of landscaping equating to approximately 16.63%.

## **ARCHITECTURAL REVIEW**

The City's non-residential building design standards aim to improve the quality of construction and architectural aesthetics in non-residential areas of the City. The standards call for all buildings that are visible from a public right of way comply with the standards. The proposed building addition meets architectural design guidelines and is compliant with code.

### **Massing**

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*max height 45 feet (meets standard)*
- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*
- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (meets standard)*

### **Materials**

- High quality materials-factory finished, integrally colored, or otherwise suitably treated- **(meets standard)**
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%)- **(meets standard)**
- Metal roofs & doors permitted **(meets standard)**

## **POSSIBLE MOTION**

I move that the Planning Commission approve the site plan for Cyprus Credit Union located at 450 East 1100 North with the following condition(s):

1. Obtain approval from UDOT to construct a sidewalk and retaining wall within their right-of-way;
2. Provide a letter, prior to final occupancy, from a licensed surveyor certifying that the storm drain system has been constructed to the design elevations and that the overall system will operate as designed;
3. Engineering redlines, if any.

## Attachments

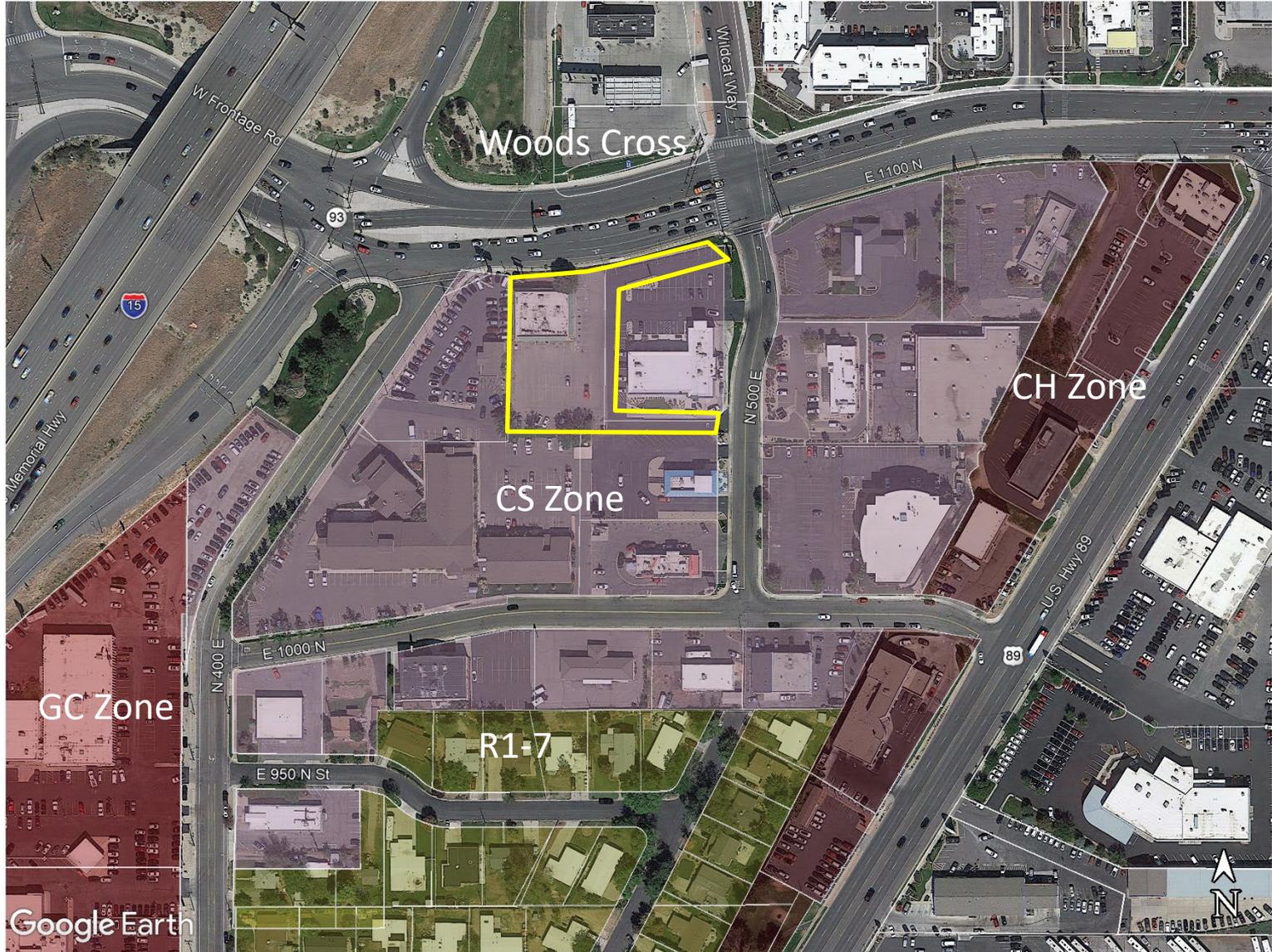
- 1) Aerial/Zoning Map
- 2) Demolition Plan
- 3) Site Plan
- 4) Elevations
- 5) Landscape Plan



# Cyprus Credit Union - Site Plan

## 450 East 1100 North

### Zoning

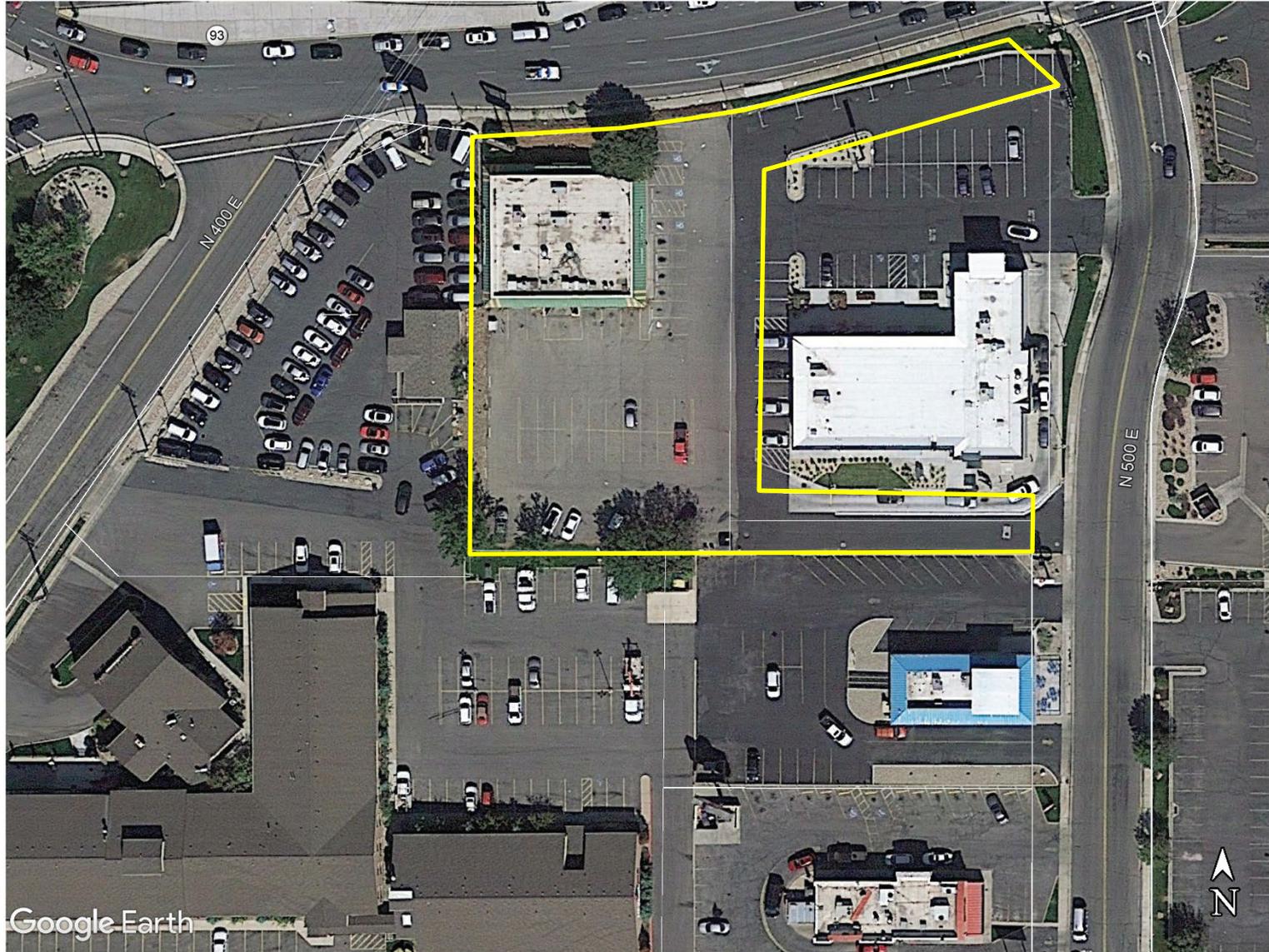




# Cyprus Credit Union - Site Plan

## 450 East 1100 North

### Aerial



**BENCHMARK**  
 CENTER OF SECTION 36,  
 TOWNSHIP 2 NORTH, RANGE 1 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4280.64

**811**  
 Know what's below.  
 Call before you dig.

CALL BLUESTAKES  
 @ 811 AT LEAST 48 HOURS  
 PRIOR TO THE  
 COMMENCEMENT OF ANY  
 CONSTRUCTION.

**SCOPE OF WORK:**

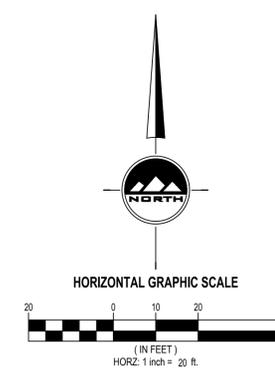
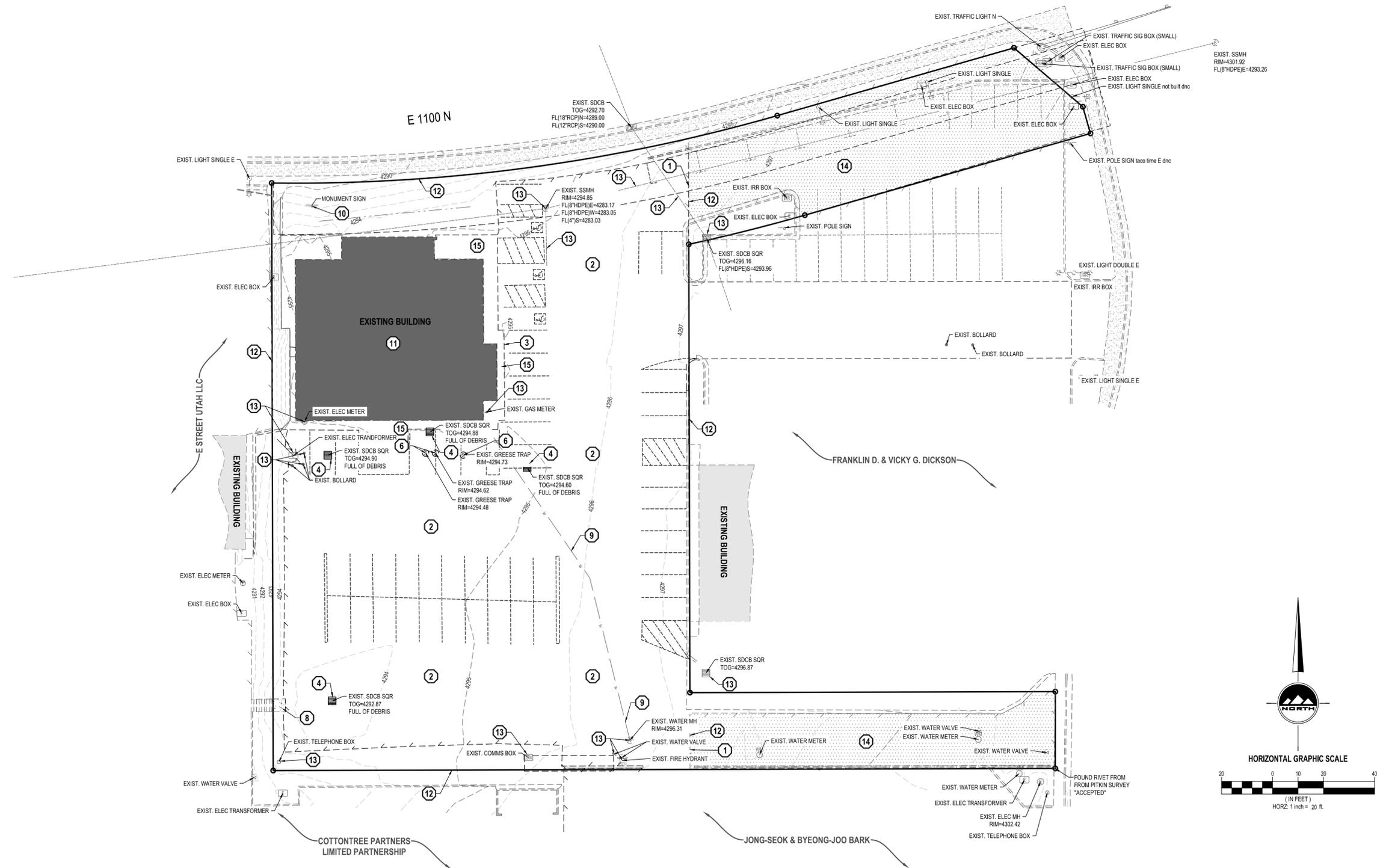
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- 3 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 4 REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN CATCH BASIN.
- 5 REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN PIPE.
- 6 REMOVE AND PROPERLY DISPOSE OF EXISTING SANITARY SEWER MANHOLE AND GREASE TRAP.
- 7 REMOVE AND PROPERLY DISPOSE OF EXISTING SANITARY SEWER PIPE.

- 8 PROTECT AND PRESERVE EXISTING STAIRWAY AND LANDING.
- 9 REMOVE AND PROPERLY DISPOSE OF EXISTING WATER LINE.
- 10 PROTECT AND PRESERVE MONUMENT POLE AND ASSOCIATED ELECTRICAL HARNESS FOR FUTURE USE.
- 11 REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- 12 LIMIT OF DISTURBANCE.
- 13 PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
- 14 EXISTING ASPHALT TO REMAIN IN PLACE.
- 15 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.

**GENERAL NOTES**

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



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 THE STANDARD IN ENGINEERING

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 GORDON CLARK  
 PHONE: 801-533-2100

**CYPRUS CREDIT UNION**

**450 EAST 1100 NORTH**  
**NORTH SALT LAKE CITY, UT**



**DEMOLITION PLAN**

PROJECT NUMBER: 9802  
 PRINT DATE: 4/7/21  
 DRAWN BY: MIKE WINTERS  
 CHECKED BY:  
 PROJECT MANAGER: DAVID JENKINS, PE

**C-100**

**BENCHMARK**  
 CENTER OF SECTION 36,  
 TOWNSHIP 2 NORTH, RANGE 1 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4280.64'

**811**  
 Know what's below.  
 Call before you dig.

CALL BLUESTAKES  
 @ 811 AT LEAST 48 HOURS  
 PRIOR TO THE  
 COMMENCEMENT OF ANY  
 CONSTRUCTION.

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PROP. PAVEMENT	27,371.3	56%
ROOF	4,113.0	8%
PROP. LANDSCAPING	6,658.8	14%
EXIST. PAVEMENT TO REMAIN	9,132	19%
EXIST. LANDSCAPE TO REMAIN	1,444.6	3%
TOTAL SITE	48,719.75	100%
	1.12 ACRES	

PARKING DATA TABLE	
STANDARD STALLS	33
ADA-ACCESSIBLE STALLS	2
TOTAL STALLS	35

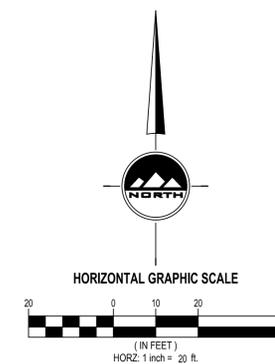
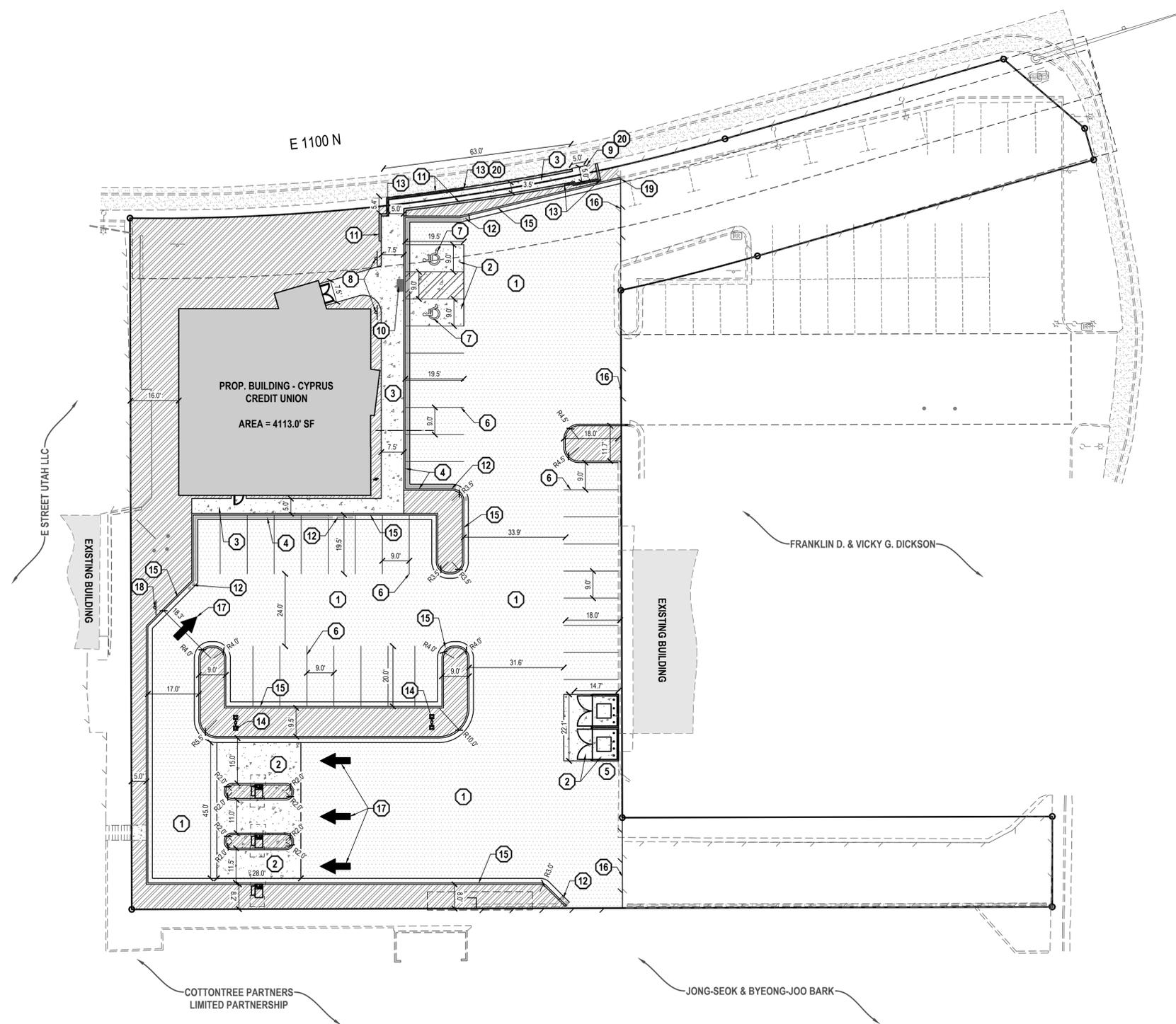
**SCOPE OF WORK:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 1/C-500.
- 2 CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 2/C-500.
- 3 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
- 4 24" REVERSE PAN CURB AND GUTTER PER DETAIL 3/C-500.
- 5 TRASH ENCLOSURE PER ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
- 6 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 7 PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 8 "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.

- 9 CONNECT TO EXISTING SIDEWALK. SEE GRADING PLAN FOR DETAILS.
- 10 HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- 11 RETAINING WALL. SEE GRADING PLAN FOR INFORMATION.
- 12 TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- 13 GUARDRAIL/HANDRAIL. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 14 PARKING LOT LIGHTING. SEE PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION.
- 15 24" COLLECTION CURB AND GUTTER PER DETAIL 8/C-500.
- 16 ROLL ASPHALT TO PROVIDE 6" THICKENED EDGE. EXTEND BASE COURSE 2' BEYOND EDGE OF ASPHALT.
- 17 DIRECTIONAL ARROWS PER M.U.T.C.D. STANDARD PLANS.
- 18 ONE WAY DO NOT ENTER SIGN PER M.U.T.C.D. STANDARD PLANS.
- 19 CONNECT TO EXISTING CURB AND GUTTER.
- 20 UDOT PERMIT REQUIRED PRIOR TO BEGINNING ANY WORK WITHIN UDOT RIGHT OF WAY.

**GENERAL NOTES**

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



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 JRCA ARCHITECTS  
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 SALT LAKE CITY, UT 84111  
 CONTRACT:  
 GORDON CLARK  
 PHONE: 801-533-2100

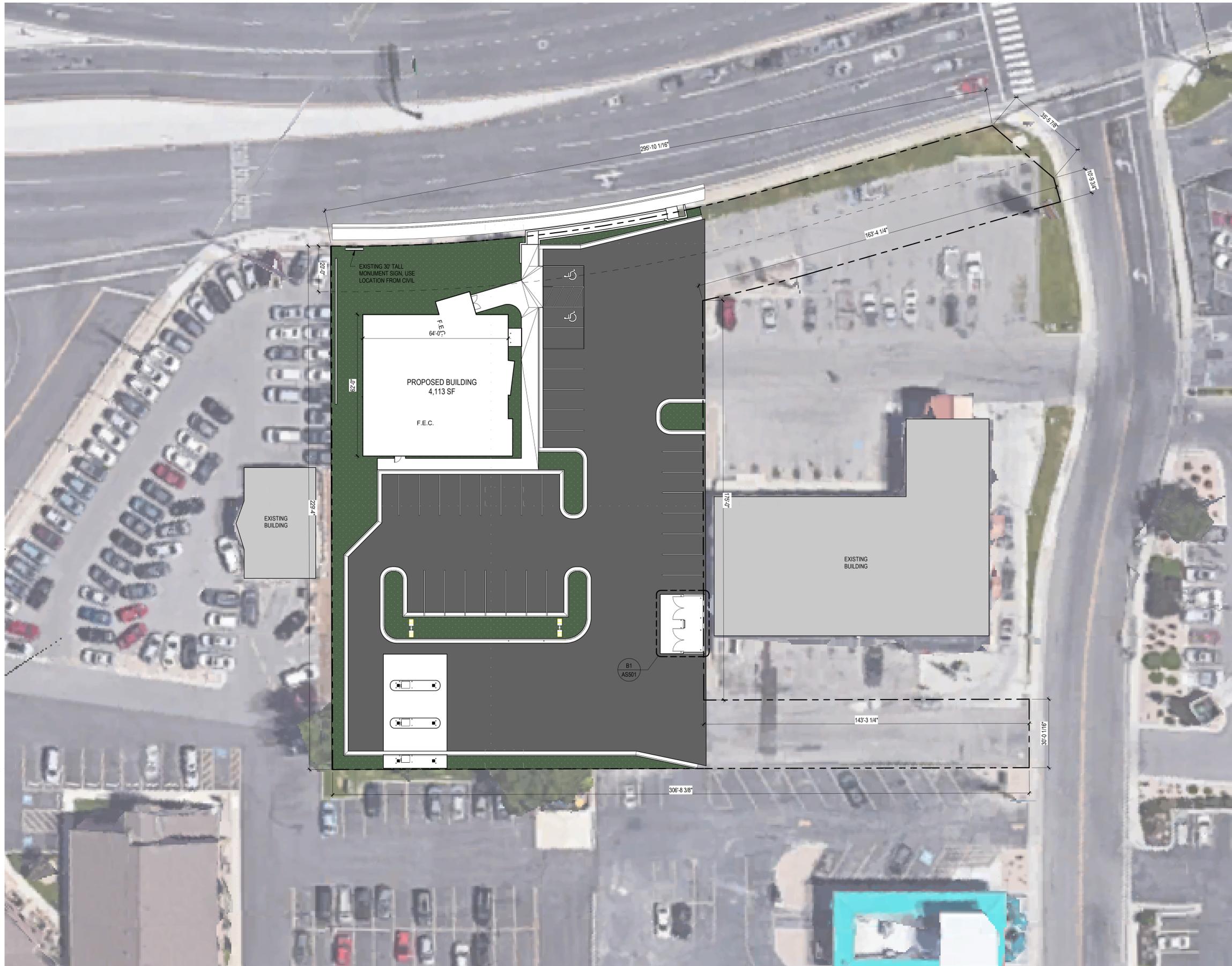
**CYPRUS CREDIT UNION**  
 450 EAST 1100 NORTH  
 NORTH SALT LAKE CITY, UT



**SITE PLAN**

PROJECT NUMBER: 9802  
 PRINT DATE: 4/7/21  
 DRAWN BY: MIKE WINTERS  
 CHECKED BY:  
 PROJECT MANAGER: DAVID JENKINS, PE

**C-101**



**GENERAL NOTES:**

1. CONTRACTOR MUST MEET ALL NORTH SALT LAKE CITY SPECIFICATIONS AND STANDARDS WITHIN CITY RIGHT-OF-WAY.

**KEY NOTES:**

**PARKING ANALYSIS:**

C-S ZONE  
 30'-0" MAX  
 2 MAX STORIES  
 1 ACRE MIN. LOT AREA  
 65% MAX. BUILDING COVERAGE  
 10% MIN. LANDSCAPE COVERAGE  
 20'-0" FRONT SETBACK  
 0 SIDE AND REAR SETBACK  
 BANK OR FINANCIAL INSTITUTION  
 DRIVE-UP WINDOWS SHALL PROVIDE 4 STACKING SPACES FROM WINDOW, PLUS 1 STALL PER 250 SQUARE FEET OF FLOOR AREA

17 PARKING STALLS REQUIRED  
 33 STALLS SHOWN



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 jrcadesign.com

**CYPRUS CREDIT UNION**

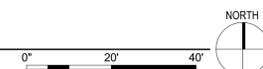
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 NORTH SALT LAKE, UT 84054

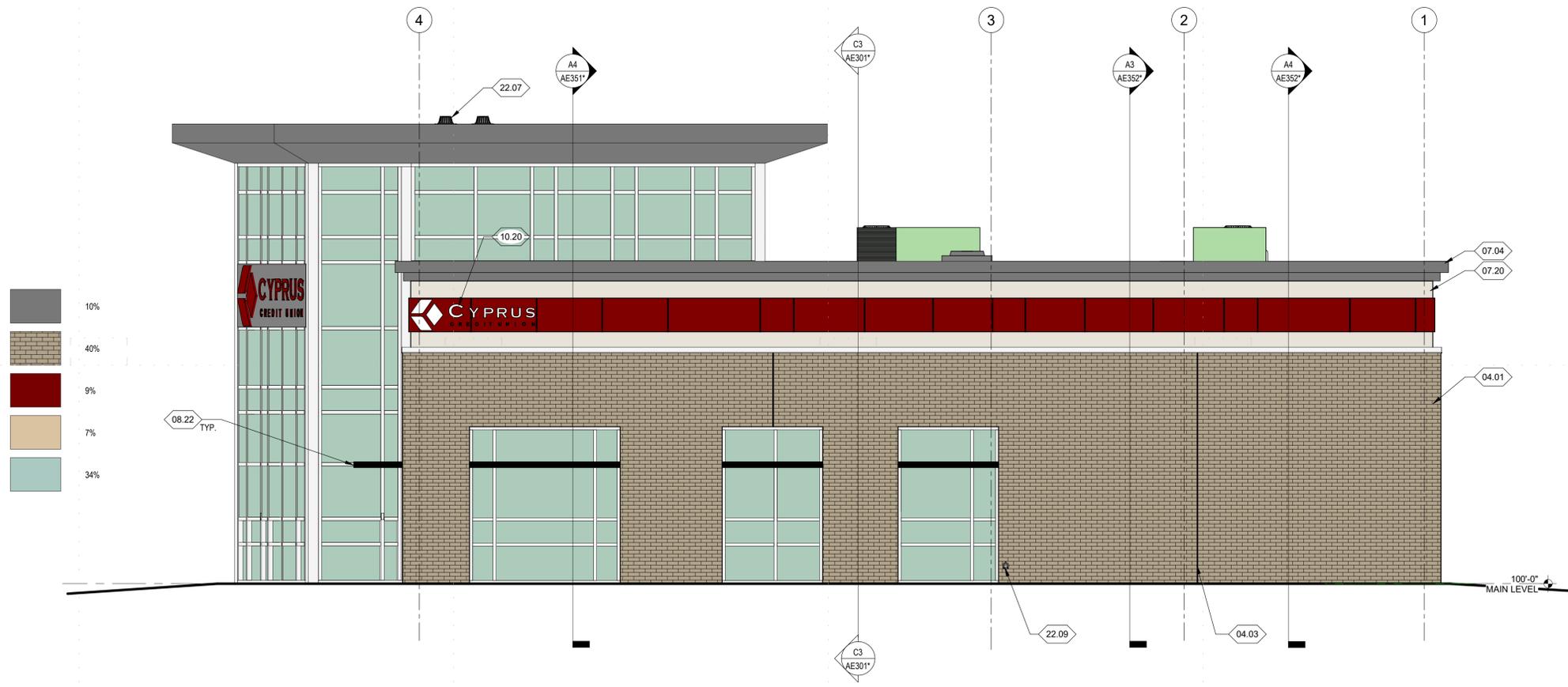
PROJECT #: 20015

SITE APPLICATION	
03/22/21	
DATE	REVISION

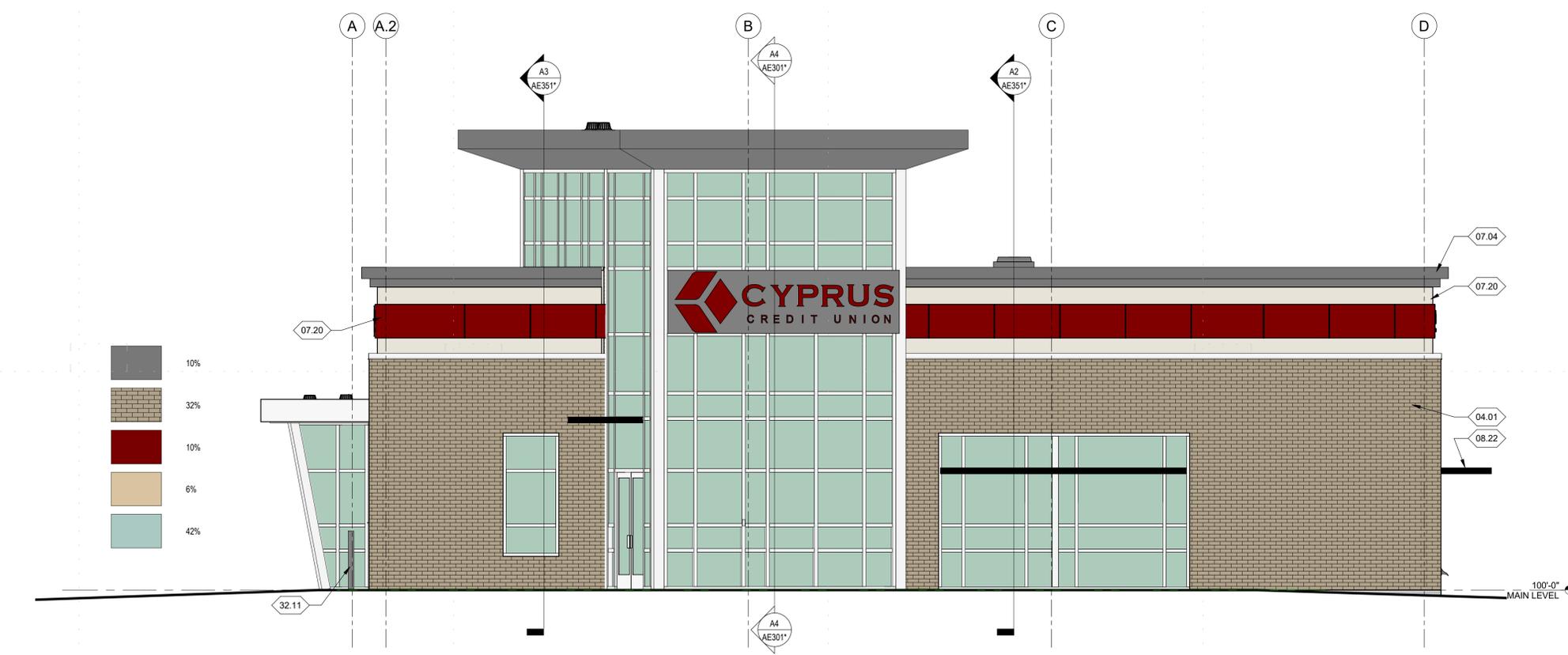
ARCHITECTURAL  
 SITE PLAN

**AS101**





**C4 EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**A4 NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

**GENERAL NOTES:**

- BUILDING HEIGHT IS UNDER 28'-0" PER DEVELOPMENT AGREEMENT
- DEVELOPMENT PLAN IN PLACE.

**KEY NOTES:**

- 04.01 BRICK VENEER, SEE SPECIFICATIONS.
- 04.03 CONTROL JOINT IN BRICK VENEER
- 07.04 PARAPET CAP (COLOR CLAD METAL BY COIL COATING PROCESS) HELD IN PLACE WITH CONTINUOUS GLEAT NAILED TO WOOD NAILER. SLOPE CAP TO DRAIN TO ROOF SIDE. ATTACH PARAPET CAP ON ROOF SIDE TO NAILER WITH GASKETTED FASTENERS.
- 07.20 ALUMINUM COMPOSITE WALL PANEL SYSTEM (DRY SEAL SYSTEM). USE EXTRUSIONS, RIVETS, CLIPS, AND FASTENERS THAT ARE MANUFACTURED FOR USE WITH THE SYSTEM. SEE EXTERIOR ELEVATIONS FOR PANEL SIZES AND REVEAL LOCATIONS ON VERTICAL WALL SYSTEMS. PROVIDE FILLER STRIPS AT HORIZONTAL REVEALS TO ACHIEVE THE REVEAL SPECIFIED
- 08.22 PRE-MANUFACTURED ALUMINUM SUNSHADE ATTACHED TO CURTAIN WALL OR STOREFRONT SYSTEM WITH STANDARD ATTACHMENT BRACKETS.
- 10.20 SIGNAGE BY OWNER. COORDINATE POWER AND MOUNTING REQUIREMENTS.
- 22.07 ROOF DRAIN. SEE PLUMBING DRAWINGS.
- 22.09 SECONDARY ROOF DRAIN DOWNSPOUT NOZZLE. SEE PLUMBING DRAWINGS.
- 32.11 STEEL BOLLARD SEE DETAIL A1/AS502.

**EXTERIOR COLOR SCHEDULE:**

NOTE: MANUFACTURER'S LISTED ARE FOR COMPARISON OF FINISH DESIRED. OTHER MANUFACTURERS WITH SIMILAR COLORS WILL BE CONSIDERED.

ALUMINUM COMPOSITE PANEL SYSTEM: SATIN ALUMINUM  
STORE FRONT & CURTAIN WALL: BRUSHED ALUMINUM  
GLAZING: SEE SPECIFICATIONS.  
MASONRY: INTERSTATE BRICK - "SMOKE MOUNTAIN L-4"  
MORTAR: SOLOMON 20K "DARK BUFF"

**EXTERIOR ELEVATION LEGEND:**

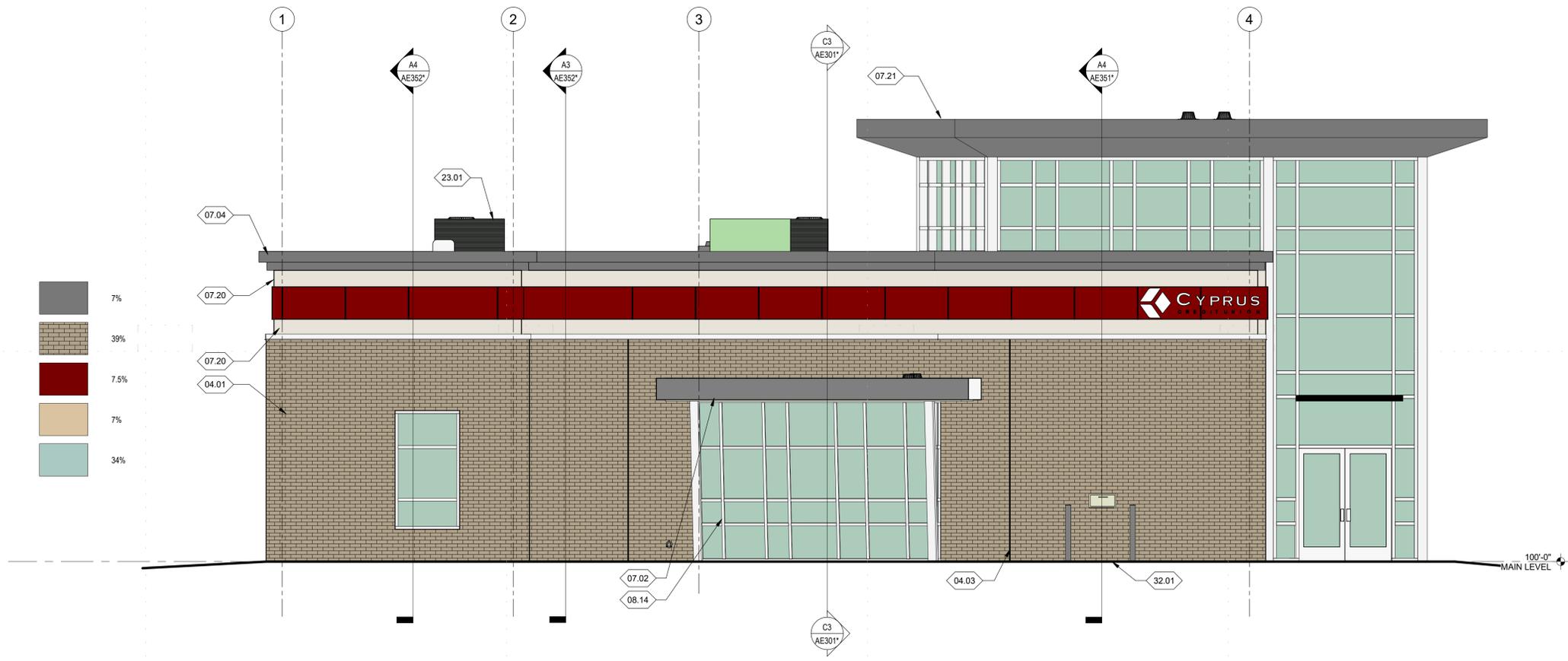
- PARAPET CAP
- BRICK VENEER
- ALUMINUM COMPOSITE WALL PANEL SYSTEM
- ALUMINUM COMPOSITE WALL PANEL SYSTEM

PROJECT #: 20015

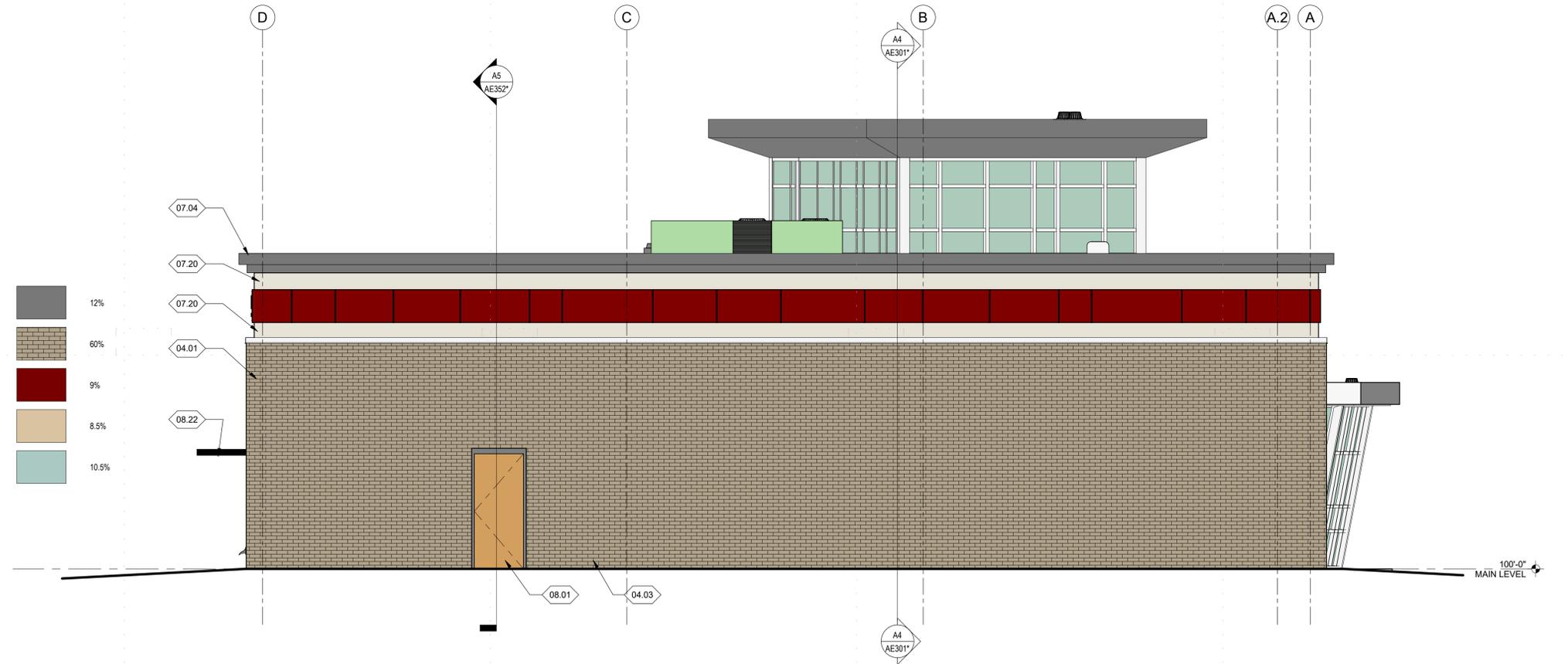
SITE APPLICATION	
03/22/21	
DATE	REVISION

EXTERIOR ELEVATIONS

**AE201**



C4 WEST ELEVATION  
AE202 SCALE 1/4" = 1'-0"



A4 SOUTH ELEVATION  
AE202 SCALE 1/4" = 1'-0"

GENERAL NOTES:

- BUILDING HEIGHT IS UNDER 28'-0" PER DEVELOPMENT AGREEMENT
- DEVELOPMENT PLAN IN PLACE.

KEY NOTES:

- 04.01 BRICK VENEER, SEE SPECIFICATIONS.
- 04.03 CONTROL JOINT IN BRICK VENEER
- 07.02 PROVIDE TAPERED INSULATION (WITH SLOPE 1/4" PER FOOT) IN THIS ROOF AREA FOR WATER DRAINAGE.
- 07.04 PARAPET CAP (COLOR CLAD METAL BY COIL COATING PROCESS) HELD IN PLACE WITH CONTINUOUS CLEAT NAILED TO WOOD NAILER. SLOPE CAP TO DRAIN TO ROOF SIDE. ATTACH PARAPET CAP ON ROOF SIDE TO NAILER WITH GASKETTED FASTENERS.
- 07.20 ALUMINUM COMPOSITE WALL PANEL SYSTEM (DRY SEAL SYSTEM) USE EXTRUSIONS, RIVETS, CLIPS, AND FASTENERS THAT ARE MANUFACTURED FOR USE WITH THE SYSTEM. SEE EXTERIOR ELEVATIONS FOR PANEL SIZES AND REVEAL LOCATIONS ON VERTICAL WALL SYSTEMS. PROVIDE FILLER STRIPS AT HORIZONTAL REVEALS TO ACHIEVE THE REVEAL SPECIFIED
- 07.21 PARAPET CAP (ALUMINUM COMPOSITE PANEL) MATCHING WALL PANEL. PROVIDE STIFFENERS, SLIPS, SHIMS, ETC THAT ARE MANUFACTURED FOR USE WITH THE SYSTEM
- 08.01 DOOR. SEE DOOR SCHEDULE FOR DOOR SIZE, DOOR ELEVATION, ETC.
- 08.14 SLOPED GLAZING SYSTEM WITH 2 1/2" X 6" MULLIONS. FRAME SHALL HAVE CLEAR ANODIZED FINISH. ATTACH FRAMES TO STRUCTURE (WALLS, STEEL BEAMS, STEEL RAFTERS, ETC) WITH REQUIRED NUTS, BOLTS, WASHERS, CLAMPS, ETC.
- 08.22 PRE-MANUFACTURED ALUMINUM SUNSHADE ATTACHED TO CURTAIN WALL OR STOREFRONT SYSTEM WITH STANDARD ATTACHMENT BRACKETS.
- 23.01 ROOFTOP-MOUNTED MECHANICAL UNIT (AIR HANDLING UNIT, ROOFTOP UNIT, AIR CONDITIONER, ETC.) SEE MECHANICAL AND STRUCTURAL DRAWINGS FOR STRUCTURAL SUPPORT AND CURB DETAILING. PROVIDE CRICKET ON HIGH SIDE OF UNIT FOR WATER DRAINAGE, TYP.
- 32.01 LINE OF GRADE. ASPHALT PAVING, CONCRETE SIDEWALK AS OCCURS. SLOPE GRADE, PAVING AND SIDEWALK AWAY FROM BUILDING AS SHOWN ON CIVIL PLANS AND SITE PLANS.

EXTERIOR COLOR SCHEDULE:

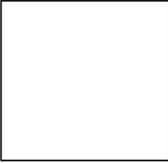
NOTE: MANUFACTURER'S LISTED ARE FOR COMPARISON OF FINISH DESIRED. OTHER MANUFACTURERS WITH SIMILAR COLORS WILL BE CONSIDERED.

ALUMINUM COMPOSITE PANEL SYSTEM: SATIN ALUMINUM STORE FRONT & CURTAIN WALL: BRUSHED ALUMINUM GLAZING: SEE SPECIFICATIONS.  
MASONRY: INTERSTATE BRICK - "SMOKE MOUNTAIN L-4" MORTAR: SOLOMON 20K "DARK BUFF"

EXTERIOR ELEVATION LEGEND:

- PARAPET CAP
- BRICK VENEER
- ALUMINUM COMPOSITE WALL PANEL SYSTEM
- ALUMINUM COMPOSITE WALL PANEL SYSTEM

SITE APPLICATION	
03/22/21	
DATE	REVISION

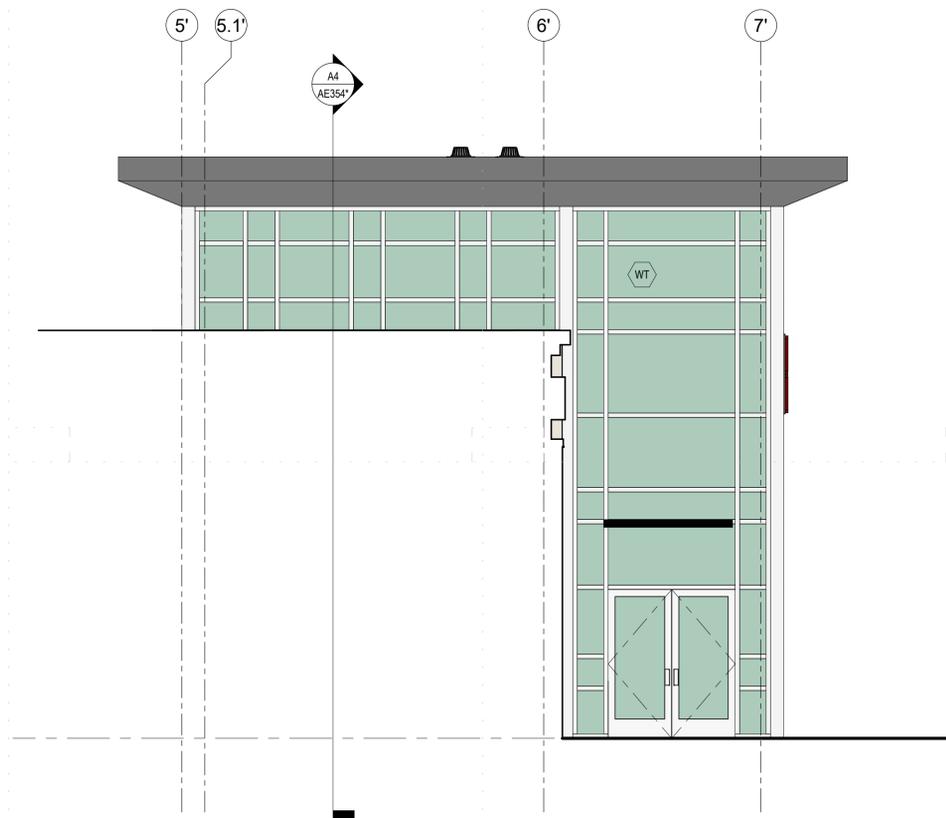


EXTERIOR ELEVATIONS

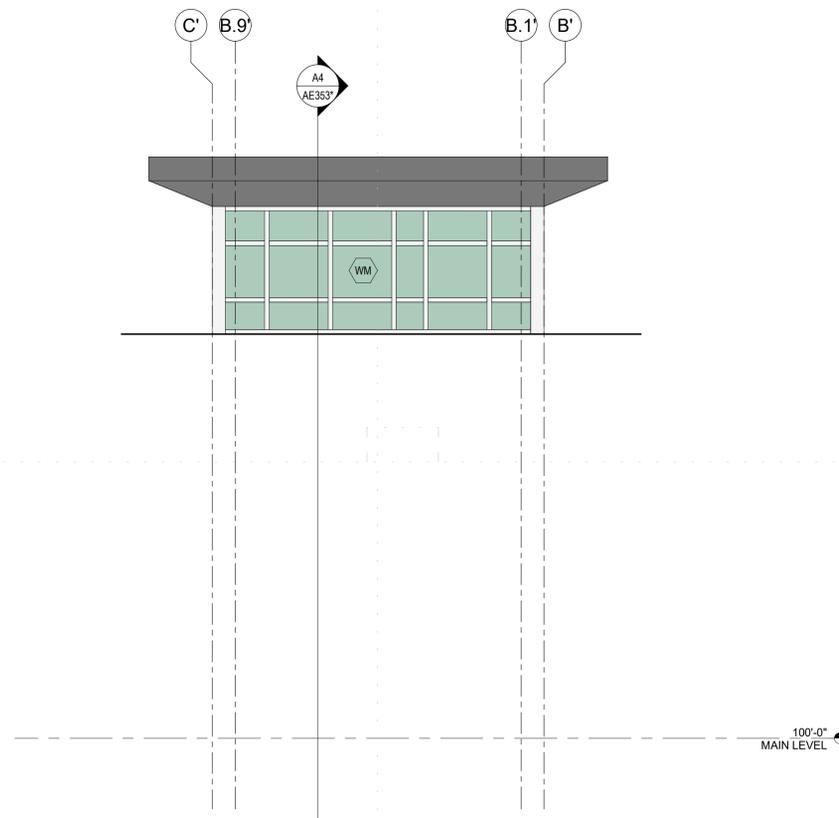
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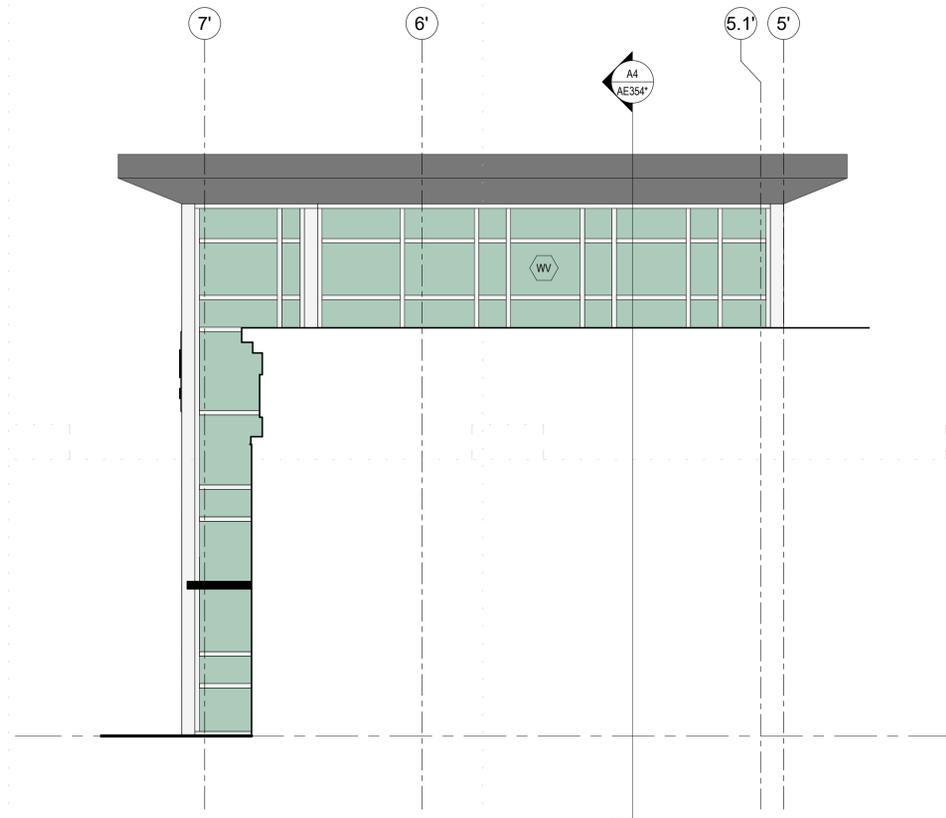
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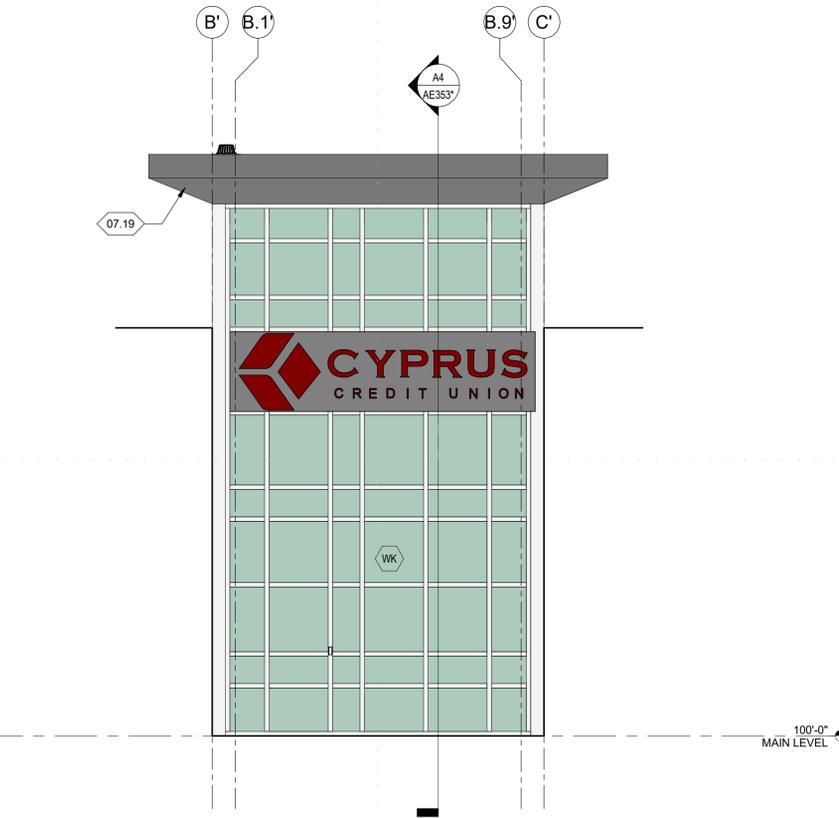
C4 NORTH EAST EXTERIOR ELEVATION  
AE203 SCALE 1/4" = 1'-0"



C2 SOUTH WEST EXTERIOR ELEVATION  
AE203 SCALE 1/4" = 1'-0"



A4 SOUTH EAST EXTERIOR ELEVATION  
AE203 SCALE 1/4" = 1'-0"



A2 NORTH WEST EXTERIOR ELEVATION  
AE203 SCALE 1/4" = 1'-0"

GENERAL NOTES:

- BUILDING HEIGHT IS UNDER 28'-0" PER DEVELOPMENT AGREEMENT
- DEVELOPMENT PLAN IN PLACE.

KEY NOTES:

- 07.19 PRE-FINISHED DRIP EDGE

EXTERIOR COLOR SCHEDULE:

NOTE: MANUFACTURER'S LISTED ARE FOR COMPARISON OF FINISH DESIRED. OTHER MANUFACTURERS WITH SIMILAR COLORS WILL BE CONSIDERED.

ALUMINUM COMPOSITE PANEL SYSTEM: SATIN ALUMINUM  
STORE FRONT & CURTAIN WALL: BRUSHED ALUMINUM  
GLAZING: SEE SPECIFICATIONS.  
MASONRY: INTERSTATE BRICK - "SMOKE MOUNTAIN L-4"  
MORTAR: SOLOMON 20K "DARK BUFF"

EXTERIOR ELEVATION LEGEND:

- PARAPET CAP
- BRICK VENEER
- ALUMINUM COMPOSITE WALL PANEL SYSTEM
- ALUMINUM COMPOSITE WALL PANEL SYSTEM



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NORTH SALT LAKE BRANCH

450 EAST 1100 NORTH  
NORTH SALT LAKE, UT 84054

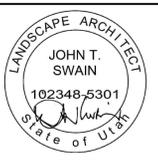
PROJECT #: 20015

SITE APPLICATION	
03/22/21	
DATE	REVISION

EXTERIOR ELEVATIONS

AE203

SUBMITTAL	
03/22/2021	
DATE	REVISION



PLANTING  
PLAN

L101

PLANT MATERIAL LIST

TREES

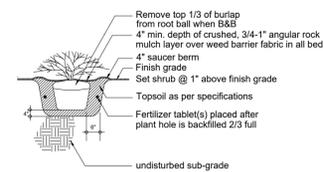
AB-Acer palmatum 'Bloodgood', Japanese Maple, 24" box, 3-4" tall  
AP-Acer platanoides 'Columnare', Columnar Norway Maple, 2" cal.  
CC-Cercis canadensis 'Forest Pansy', Forest Pansy Redbud, 2" cal.  
PH-Pinus leucodermis 'Heldreichii', Bosnian Pine, 6' tall

ORNAMENTAL GRASSES/PERENNIALS/GROUND COVER

CF-Calamagrostis x acutifolia 'Karl Foerster', Feather Reed Grass, 5 gal.  
HE-Hemerocallis x 'Stella de Oro', Daylily, 2 gal.  
LA-Lavendula angustifolia 'Hidcote Blue', English Lavender, 5 gal.  
PA-Pennisetum alopecuroides 'Little Bunny', Dwarf Fountain Grass, 1 gal.  
PT-Pachysandra terminalis, Japanese Spurge, 1 gal.  
PA-Perovskia atriplicifolia, Russian Sage, 2 gal.

SHRUBS

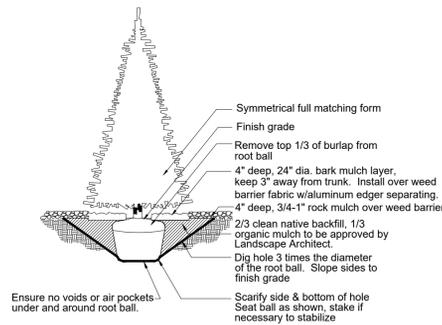
BT-Berberis thunbergii atropurpurea 'Rose Glow', Red Barberry, 5 gal.  
CD-Cotoneaster dammeri 'Coral Beauty', Coral Beauty Cotoneaster, 5 gal.  
JC-Juniper communis 'Blueberry Delight', Juniper, 5 gal.  
LI-Ligustrum vulgare 'Lodense', Lodense Privet, 5 gal.  
PL-Prunus laurocerasus 'Otto Luyken', Otto Luyken Laurel, 18-24"  
PS-Picea abies 'Nidiformis', Dwarf Nest Spruce, 5 gal.  
RA-Rhus aromatica 'Gro-Low', Gro-Low Sumac, 5 gal.  
RG-Rhus glabra, Dwarf Smooth Sumac, 5 gal.



Shrub Planting Detail

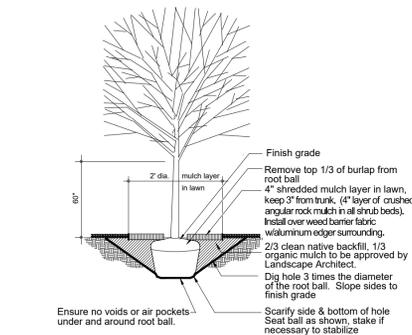
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Bench Detail



Tree Planting Detail

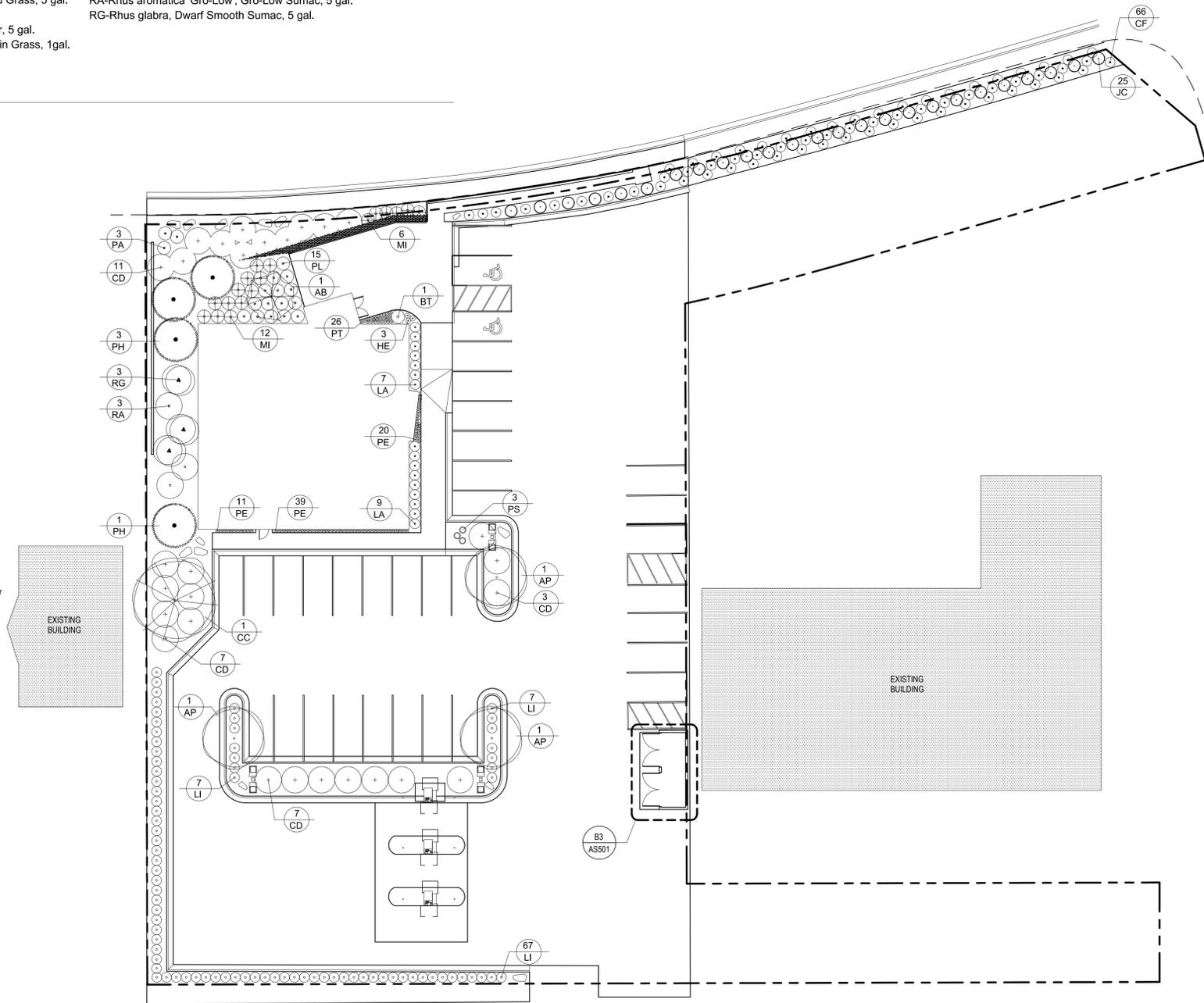
No scale



Deciduous Tree Planting Detail

No scale

Note: stake deciduous trees with double stake bracing parallel with prevailing winds. Stake conifer trees with 3 guy wires at equal distance and oriented for prevailing wind.



KEY NOTES:

1. Rock mulch: Apache Brown, 3/4-1". Available Staker Parkson, Beck Street Yard.
2. Stake all trees as necessary to achieve and retain plumb.
3. Provide soil test of all soil used in the planting process including any remedies required for vigorous growth.



# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** April 13, 2021  
**SUBJECT:** Conditional Use Permit for R&R Machine Service, 450 West 100 North

### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the conditional use permit for R&R Machine Service located at 450 West 100 North with no condition(s).

### BACKGROUND

Previously located at 625 North 400 West, R&R Machine Service has operated in North Salt Lake for over a decade. They have relocated their business to 450 West 100 North where they have an industrial machine and mechanical repair shop for the oil and gas industry. The new address is located within the Manufacturing-Distribution (MD) zone where “commercial and industrial machinery and equipment (except auto/electric) repair” is a conditional use.

The building at the new location is approximately 29,000 sq. ft. in size, all of which is dedicated to the single business. Of the total square footage, 2,500 will be used for general office and the remaining 26,500 will be used for machining mechanical repair.

Uses	Use Square Footage	City Code 10-6-5 Off Street Parking Stall Requirements	Required Parking
General Office	9,400 SF	1 parking stall per 250 sq. ft. for the first 20,000 sq. ft.	38
Manufacturing, processing or assembly	26,500	1 parking stall per 1,000 sq. ft. of gross floor area or 1 stall per employee on highest shift, whichever is greater	27
<b>Total Required Parking Stalls</b>			<b>65</b>

As there is not a specific parking code for industrial machinery repair, the most relatable use was “Manufacturing, processing or assembly”. With that assumption, the business is required to have 65 parking stalls and the applicant has provided 50. The business employs 32 people and will have a

maximum of 20 on site during the highest shift. The DRC does not foresee any parking issues that this business will create with the current amount of parking and recommends approval as is. Section 10-6-5 (J) provides that the Planning Commission upon the advice of the Community Development Director shall determine the minimum required off street parking.

The business will be open 7:00 AM to 2:00 AM Monday through Thursday and 7:30 AM to 5:00 PM on Friday. Saturday and Sundays will be by reservation only.

This conditional use permit is subject to the requirements of the City's Land Use Ordinance (10-7-1-4), requiring that every Conditional Use Permit shall expire by limitation and become null and void if the work authorized by such permit has not commenced within one (1) year, or is not completed within two (2) years from date of issue.

### **POSSIBLE MOTION**

I move that the Planning Commission approve the conditional use permit for R&R Machine Service located at 450 West 100 North with no condition(s).

### **Attachments**

- 1) Aerial/Zoning Map

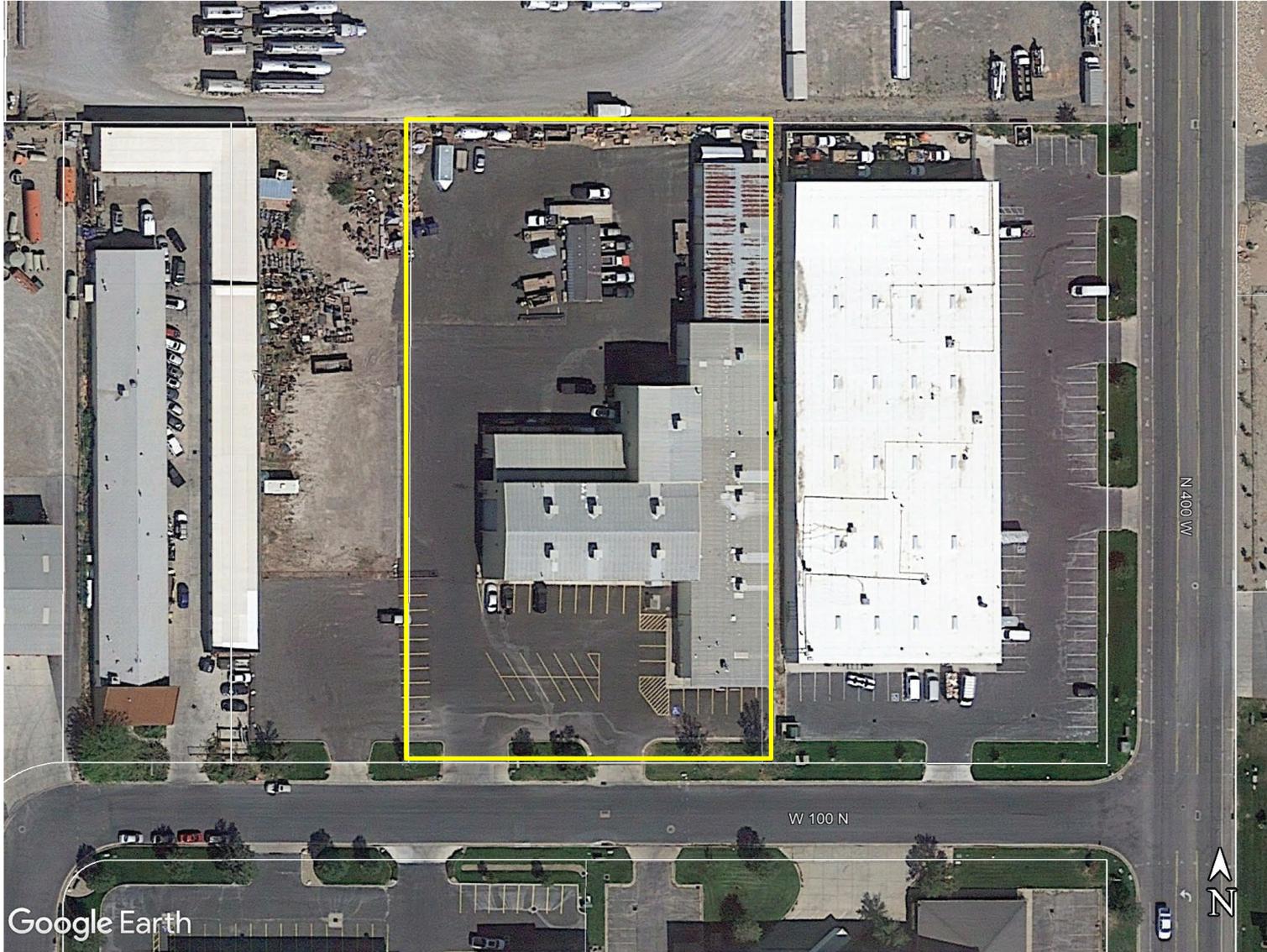


# R&R Machine Service - CUP 450 West 100 North Zoning





R&R Machine Service - CUP  
450 West 100 North  
Aerial





# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Sherrie Pace, Community Development Director  
**DATE:** April 13, 2021  
**SUBJECT:** Love Carpet Cleaning 580 North Main Street

---

### **RECOMMENDATION**

The Development Review Committee (DRC) recommends approval of the amended elevations for approved site plan for Love Carpet Cleaning at 580 North Main Street with the following conditions:

1. All previous conditions of approval are in affect;
2. The center section of the building include a roof element such as a clerestory that extends to a length to ensure that that no portion of any roof line is greater than 60 feet without height variation;
3. An awning is added to the east door, similar to the center door.

### **BACKGROUND**

Love's Carpet Cleaning was granted site plan approval on November 24, 2020 for the construction of the business at 580 North Main. The applicant has requested a site plan amendment to change the exterior design of the building, specifically lowering the height of the center section of the building.

The proposed site plan has been evaluated based upon compliance with the site plan application requirements found in 10-20-3 of the City Code. The site plan complies with requirements for parking, circulation, & traffic, as well as health, safety & noise. Landscaping and lighting also comply with the minimum requirements of city code.

### **ARCHITECTURAL REVIEW**

The City's non-residential building design standards aim to improve the quality of construction and architectural aesthetics in non-residential areas of the City. The standards call for all buildings that are visible from a public right of way comply with the standards. The proposed building will only be partially visible to I-15 south bound drivers. The DRC does not believe this constitutes the intent of the building design regulations.

The previously approved elevation approved had the center section of the building raised to a height of eight (8) feet above the rest of the roof. The previous plan also contained cupolas, which are proposed

to be removed. The previous plan had the cupolas to break up a roof line greater than 60 feet. The proposed amendment has an uninterrupted roof of longer than 60 feet at approximately 76 feet in length. There is also no awning over the far east door that needs to be added. The requested change relates to the expense of the steel structure to vault the middle section of the building

### **Massing**

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*max height 30 feet (meets standard)*
- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (Does not meet standard)*
- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (Does not meet standard)*

### **Materials**

- High quality materials-factory finished, integrally colored, or otherwise suitably treated- **(meets standard)**
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%)- **(does not meet standard)**
- Metal roofs & doors permitted **(meets standard)**

The Development Review Committee is requesting the Planning Commission review the request to amend the site plan building elevation for compliance to the design standards. The DRC is recommending the amendment be denied unless the design is modified by conditional approval.

Alternative options available for the design would be to add a clerestory to the structure, that may or may not contain windows. The clerestory would need to extend over the middle section so that no other section of roof line was longer than 60 feet. An example is attached as a staff recommended alternative, other designs using the cupolas could be used as well.

### **POSSIBLE MOTION**

I move that the Planning Commission approve the site plan for Love Carpet Cleaning at 580 North Main Street with the following conditions:

1. All previous conditions of approval are in affect;
2. The center section of the building include a roof element such as a clerestory that extends to a length to ensure that that no portion of any roof line is greater than 60 feet without height variation;
3. An awning is added to the east door, similar to the center door.

Attachments

- 1) Aerial/Zoning Map
- 2) Approved Site Plan
- 3) Approved Elevation
- 4) Proposed Elevation
- 5) Alternate Elevation (DRC example)



# Love's Carpet Cleaning 580 North Main Street Zoning

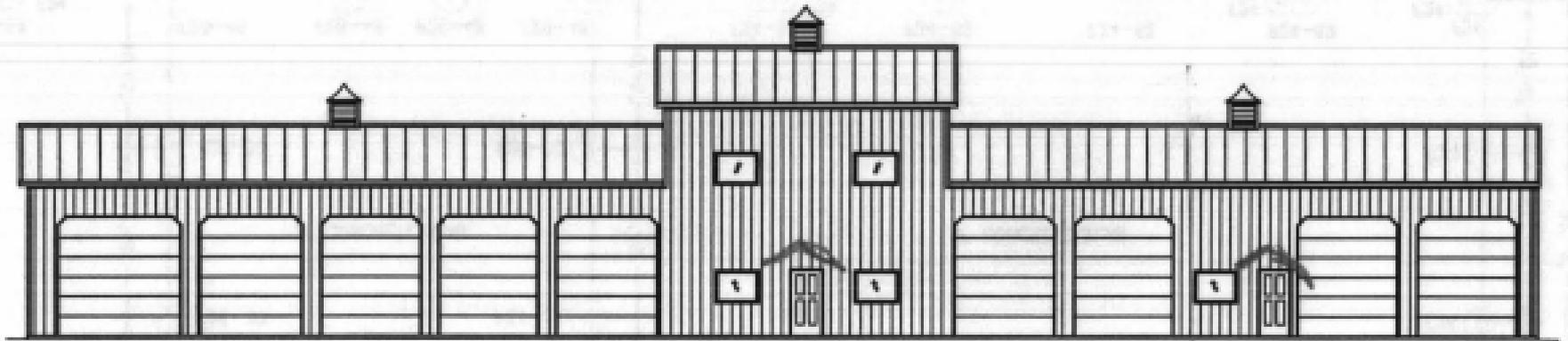




Love's Carpet Cleaning  
580 North Main Street  
Aerial



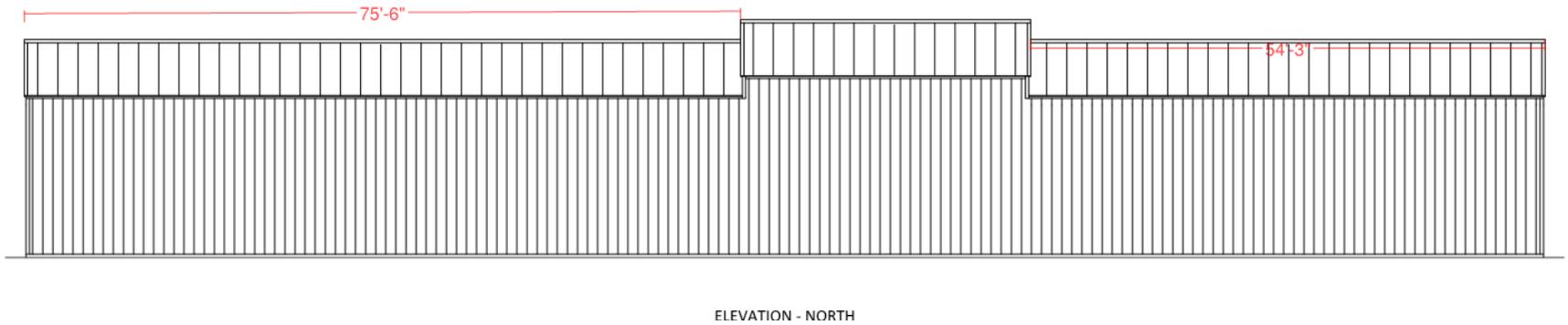
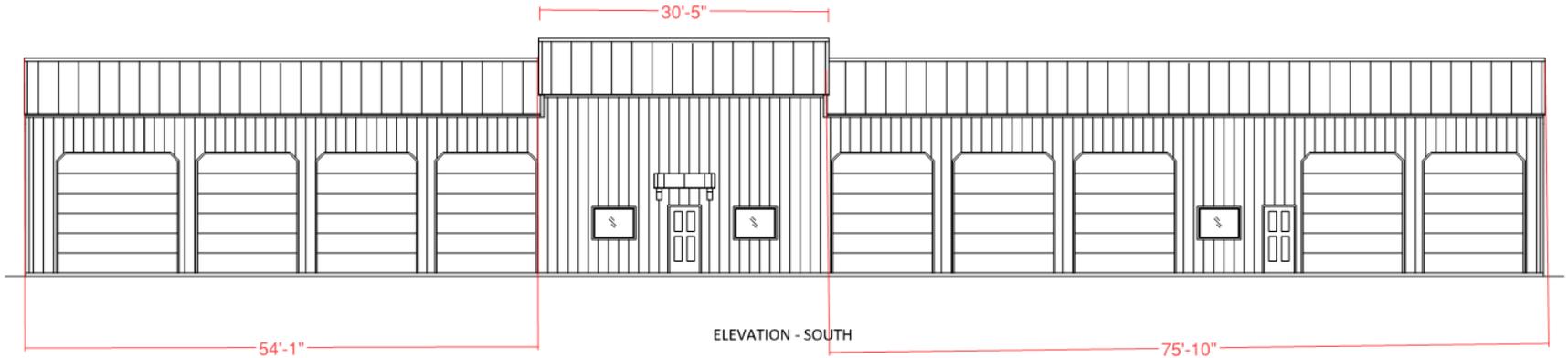
# Approved Elevation



add  
awnings over doors



# Proposed Amended Elevation



# Alternative Elevation (DRC Example)

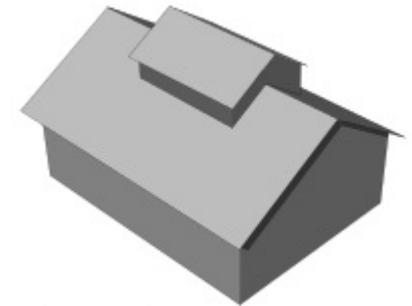
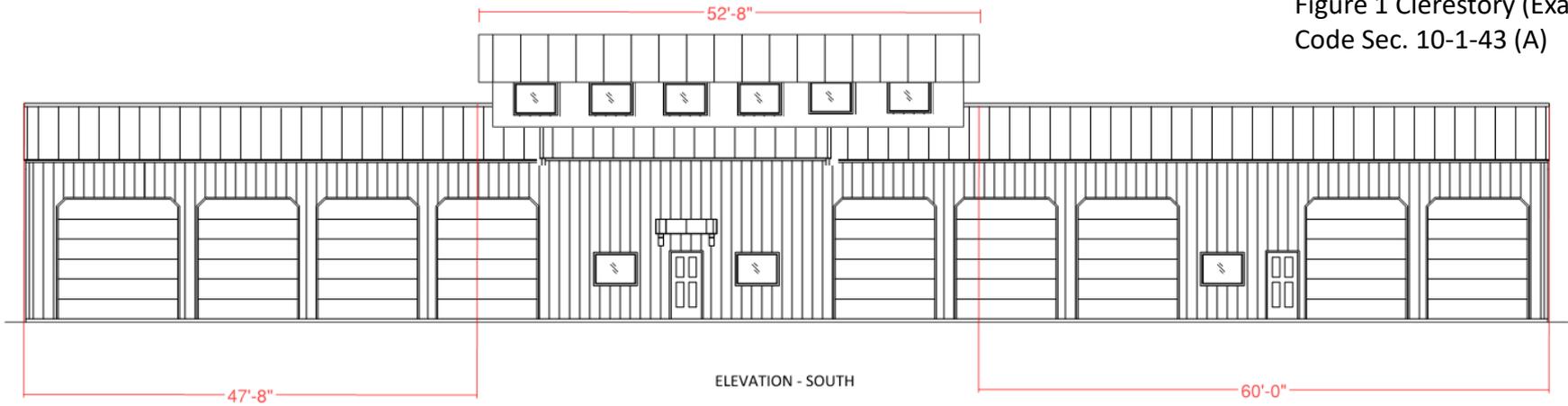


Figure 1 Clerestory (Example)  
Code Sec. 10-1-43 (A)



1 CITY OF NORTH SALT LAKE  
2 PLANNING COMMISSION MEETING  
3 MARCH 23, 2021

4  
5 **DRAFT**  
6

7 This meeting was held electronically via Zoom.  
8

9 Commission Chair Ted Knowlton called the meeting to order at 6:30 p.m. and BreAnna Larson  
10 led those present in the Pledge of Allegiance.  
11

12 PRESENT: Commission Chair Ted Knowlton  
13 Commissioner Ron Jorgensen  
14 Commissioner BreAnna Larson  
15 Commissioner Katherine Maus  
16 Commissioner Brandon Tucker  
17 Commissioner Alisa Van Langeveld  
18 Commissioner William Ward  
19

20 STAFF PRESENT: Sherrie Pace, Community Development Director; Mackenzie Bennett,  
21 Planner; Andrea Bradford, Minutes Secretary.  
22

23 OTHERS PRESENT: Carl Rupp, Estella Rupp, Rupp PUD; Zack Olson, Havenwood Homes;  
24 Duaine Rasmussen, Hayley Pratt, Castlewood Development; Eric Beard, Beard Construction;  
25 Shandell Smoot, Wilford Cannon, W. Scott Kjar, Eaglewood Cove PUD; Dee Lalliss, resident;  
26 Brad Holgate, Kyle J.  
27

28 1. PROCLAMATION BY PLANNING COMMISSION CHAIR REGARDING  
29 ELECTRONIC MEETING  
30

31 Chair Knowlton read the following proclamation “Whereas, the Planning Commission Chair has  
32 determined that conducting public meetings of the Planning Commission with an anchor location  
33 where the public could attend in person, presents a substantial risk to the health and safety of  
34 those who may be present at that location based upon the current Covid-19 pandemic and the  
35 limited staff support to properly ensure physical distancing and sufficient disinfection for  
36 attendees and staff. Now, therefore, be it resolved, that the Planning Commission shall hold  
37 meetings for the month of March 2021 by electronic means only, and will not include an anchor  
38 location where the public could attend in person.”  
39

40 2. PUBLIC COMMENTS  
41

42 There were no public comments.  
43

44 The agenda was reordered due to technical issues.

45

46 3. APPROVAL OF MINUTES

47

48 The Planning Commission meeting minutes of March 9, 2021 were reviewed and approved.

49

50 **Commissioner Larson moved that the Planning Commission approve the meeting minutes**  
51 **from March 9, 2021 as written. Commissioner Maus seconded the motion. The motion was**  
52 **approved by Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld**  
53 **and Ward.**

54

55 4. PUBLIC HEARING - CONSIDERATION OF A PLAT AMENDMENT FOR  
56 EAGLEPOINTE ESTATES LOT 1021R AND 1020R, ZACK OLSON, APPLICANT

57

58 Mackenzie Bennett reported that the proposed plat amendment would combine lots 1021R and  
59 1020R of Eaglepointe Estates Phase 10. These properties are in the R1-10 zone. The property  
60 owner would like to combine the lots to add a pool house to the existing single family home. The  
61 preliminary plan of the addition would include a sky bridge to connect the home to the pool  
62 house. The pool house would also contain a media room and three car garage. Lot 1021R is 0.35  
63 acres with a single family dwelling on it. Lot 1020R is 0.31 acres and is vacant. The proposed lot  
64 would be approximately 0.66 acres in size. There are no public utility easements that must be  
65 vacated in order to combine the lots or build across the dividing lot line. She said as the City's  
66 engineering department has approved the plat, the one condition listed in the staff report for  
67 approval could be disregarded. The Development Review Committee (DRC) recommended  
68 approval of the plat amendment.

69

70 **Chair Knowlton opened the public hearing at 6:38 p.m. There were no public comments**  
71 **and he closed the public hearing at 6:39 p.m.**

72

73 Zack Olson, applicant, commented that they would submit building plans to the City within the  
74 next week.

75

76 **Commissioner Jorgensen moved that the Planning Commission recommend approval to**  
77 **the City Council of the plat amendment that combines lots 1021R and 1020R of the**  
78 **Eaglepointe Estates Phase 10 Subdivision at 653 and 665 East Country Court with no**  
79 **conditions. Commissioner Ward seconded the motion. The motion was approved by**  
80 **Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

81

82 Commissioner Tucker asked if there are additional setback requirements for homes adjacent to  
83 the golf course. Sherrie Pace replied that it was the same setback requirement of 25 feet for the  
84 R1-10 zone. She said there was an easement on most of the subdivisions adjacent to the course  
85 for golf ball hazards.

86 5. CONSIDERATION OF A CONDITIONAL USE PERMIT FOR THE STRATFORD  
87 POOL HOUSE AT 659 SOUTH CORDOVA COURT, ERIC BEARD, APPLICANT  
88

89 Mackenzie Bennett reported that the applicant, Eric Beard of Beard Construction, was requesting  
90 a conditional use permit to construct a detached accessory dwelling unit (ADU) for the Stratford  
91 family located at 659 and 671 South Cordova Court. The Stratford family owns both parcels,  
92 which are lots 1036R and 1035R of the Eaglepointe Estates Phase 10 subdivision. The applicant  
93 and property owner are in the process of combining the lots with Davis County for tax purposes  
94 only, which does not require a formal lot line adjustment or plat amendment. Lot 1036R (659  
95 South Cordova Court), approximately 0.5 acres, has the existing primary dwelling unit on it and  
96 Lot 1035R (671 South Cordova Court), approximately 0.34 acres, is currently vacant. The plan  
97 would be to construct an ADU, swimming pool, retaining walls and a sport court on lot 1035R to  
98 complement the existing home on lot 1036R.  
99

100 Ms. Bennett explained that the reason this application was before the Planning Commission as a  
101 conditional use permit was because of the ADU's size and height. City code states that the  
102 setbacks, size, and parking of an ADU can be modified by the Commission by way of  
103 conditional use permit. According to City code 10-1-44 and 10-1-28, the maximum size of an  
104 ADU is be 1,200 square feet with the maximum height of 14 feet to the top of the wall plate and  
105 no higher than 20 feet to the highest point of the building roof or coping, nor be taller than the  
106 primary structure. The applicant was requesting a size of approximately 2,150 square feet and a  
107 height of 23 feet to be able to provide a complimentary style for the ADU with the existing  
108 dwelling per code.  
109

110 The DRC found no potential negative impacts this ADU would have on the surrounding area due  
111 to its size and height. The DRC recommends approval of the conditional use permit with two  
112 conditions including the installation of a six foot fence or barrier to provide complete perimeter  
113 security of the pool (per City code) and any engineering redlines.  
114

115 Sherrie Pace explained that when the City recently adopted the ADU ordinance that there was a  
116 discussion about the size of the units and the maximum size of 1,200 square feet. The reason for  
117 the conditional use for anything over 1,200 square feet was to provide an option for larger estate  
118 lots.  
119

120 Commissioner Van Langeveld asked if once these lots were combined that in the future it would  
121 not be possible for the lot containing the proposed pool house to be sold separately. Mackenzie  
122 Bennett replied that if the property owner wanted to sell the pool house separate from the main  
123 building, they would have to go to Davis County and reverse the lot consolidation they are  
124 planning to complete in the near future.  
125

126 Sherrie Pace commented that the City would review whether the structure met the intent of a  
127 single family home, which included a two car garage.

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**Commissioner Van Langeveld moved that the Planning Commission approve the conditional use permit for the Stratford Pool House, an accessory dwelling unit, at 659 South Cordova Court, including the exceptions to a maximum height of 23 feet and a maximum ADU size 2,150 square feet with the following conditions:**

- 1) Installation of a 6 foot fence or barrier to provide complete perimeter security of the pool.**
- 2) Engineering redlines, if any.**

**Commissioner Jorgensen seconded the motion. The motion was approved by Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

Chair Knowlton commented on recent legislation related to ADUs and said 25% of the residential land area in a city could be exempt from allowing ADUs but the rest must allow for ADUs. Sherrie Pace replied that her understanding of the new statute was that internal ADUs had to be a permitted use and that only 25% of residential zones could be exempt. She said all of the City’s residential zones currently allowed for ADUs as a permitted use whether they were internal, attached or detached.

**6. CONSIDERATION OF A PRELIMINARY AND FINAL PLAT FOR RUPP PUD, A 3 LOT SUBDIVISION AT 824 EAGLEPOINTE DR., CARL RUPP, APPLICANT**

Sherrie Pace reported that this property zoned R1-10 had already received concept plan approval and has been undergoing extensive geotechnical hazards review. This property is located above the Parkway landslide area and the Rupp’s have proposed to create a three lot subdivision. This property was previously known as Lake View Subdivision but due to a development with the same name it will now be known as Rupp PUD. A conditional use permit was issued for the flag lot and per code flag lots are only allowed on lots that have not been previously subdivided. Lot 3 was approximately 2.5 acres and lots 1 and 2 have frontage off Eaglewood Drive. The setbacks on this plat have been increased to 30 feet to obtain the required width of 80 feet from the setback line.

Sherrie Pace explained that the engineering redlines had been completed. She said the property had undergone extensive geotechnical hazards review with Earthtech Engineering in 2016. This report raised concerns with the global stability of the hillside given that the landslide below had not been repaired or buttressed. In 2019, Mr. Rupp purchased the property and hired IGES to conduct additional testing and modeling. An approved geotechnical report would be required prior to receiving Preliminary Plan and Final Plat approval. The City’s geotech consultant is GeoStrata, who reviewed and approved the final report on December 4, 2020. This report included multiple recommendations including that all habitable structures be setback from the edge of the slope a minimum distance of 189 feet or 65.4 feet from the north property boundary.

170 Ms. Pace showed an overhead view of the properties that included a line designating the  
171 buildable line for slope stability. This specified that everything behind that line was unbuildable  
172 area and would remain native vegetation. She then reviewed the additional recommendations,  
173 which included notes on the plat that grading should be done by balancing the site and not  
174 adding additional structural fill to the hillside, that landscaping be done with positive drainage  
175 with no areas of ponding allowed, further intensive watering of landscaping should be avoided or  
176 minimized, minimizing the introduction of water into the subsurface with no onsite sewage or  
177 storm drain disposal, and that the final grading plan shall be prepared by IGES conforming to  
178 these recommendations and the plan should be reviewed by Geostrata.

179  
180 Ms. Pace reported that the corrected flag lot met City standards with a 30 foot width and 139 foot  
181 long staff with a maximum length of 150 feet. The City Engineer has reviewed that each lot has  
182 demonstrated a minimum 5,000 sq. ft. of building envelope with an average slope of 30% or less.  
183 There are several minor engineering redlines on the construction drawings and final plat as noted  
184 in the staff recommendation. The Preliminary Plan and Final Plat have been reviewed for  
185 conformity to the Land Use Code and Subdivision Ordinance and have been found to be  
186 compliant with adopted standards and regulations. The DRC recommends approval of the  
187 requested preliminary plan and final plat for a three lot subdivision with the following  
188 conditions: all construction and use of the lots will conform to the approved Slope Stability  
189 Assessment (revision 2) dated December 4, 2020, the addition of plat note to the final plat, and  
190 the completion of engineering redlines. She said item two related to the addition of the plat note  
191 to the final plat had been completed.

192  
193 Commissioner Jorgensen spoke on the restrictions on drainage and fill related to the landscaping  
194 and positive drainage and asked if this would extend to the footprint of the property including  
195 areas outside of the landscaping. Sherrie Pace replied that any ponding would already be  
196 occurring. She said provided the property owner did not introduce any fill to the unbuildable or  
197 per excavation for the buildings.

198  
199 Commissioner Larson asked how this information on the plat related to the building envelope  
200 and landscaping would be transferred to subsequent owners. Sherrie Pace responded that it  
201 would be the potential property owner's responsibility to read the plat notes. She said the City  
202 reviewed aerial photos from year to year and was sometimes able to catch changes this way.

203  
204 Commissioner Larson said that the only way a property owner would know that a portion of this  
205 property was unbuildable was if they reviewed the plat. Sherrie Pace said in the sales documents  
206 there should be a copy of the plat with all of the notes and restrictions. She explained that the  
207 City was not notified when a property was sold. Ms. Pace clarified that the building envelope  
208 was quite large and lot 3 was 2.5 acres with the building envelope at approximately one acre in  
209 size.

210

211 Carl Rupp commented that there was a lot of property from the buildable line to the edge of the  
212 slope. He said there was a seller's disclosure when a property was sold and he would personally  
213 disclose information about the property including that the landscaping be done with positive  
214 drainage with no areas of ponding allowed and that the unbuildable area be left native.  
215 Commissioner Van Langeveld spoke on the recommendation from the Geotech report, which  
216 stated that any habitable structure be setback from the edge of the slope and asked about  
217 uninhabitable structures such as a garage or swimming pool. Sherrie Pace replied that the City  
218 specified that anything outside of the 189 feet was critical slope and would not be built on  
219 including accessory structures.

220  
221 Commissioner Van Langeveld spoke on the landslide and the houses that were affected at that  
222 time. She asked what was different about this report compared to the report for that development.  
223 Sherrie Pace responded that prior to the Parkway and Springhill landslides, the City code had  
224 very limited geotechnical review requirements. In 2015, she wrote the geotechnical hazard  
225 ordinance, title 10 chapter 12, with approximately 80 pages of regulations. She explained that the  
226 Rupp started working on their geotechnical report over a year ago and that the City had much  
227 more robust requirements and regulations since the landslides. Ms. Pace stated that the  
228 geotechnical report for the Eaglewood Cove PUD, which was also on the meeting's agenda, had  
229 taken five years to complete.

230  
231 Commissioner Van Langeveld asked for clarification that the level of review and analysis that  
232 went into the report for this development was not in place prior to the developments that were  
233 involved in the landslides. Sherrie Pace replied that this was correct.

234  
235 Carl Rupp said that it had been a long process and included deep drilling into the property in  
236 which bedrock was found. He said the bedrock sloped into the hill, which was comforting to  
237 him.

238  
239 Commissioner Van Langeveld stated that she felt there were pieces of land that should not be  
240 built on. She asked what would happen in a scenario with a developer and property where the  
241 experts stated that the land should not be built on. She questioned whether this would trigger a  
242 negotiation process. Sherrie Pace responded that she did not feel this would trigger a negotiation  
243 but an appeal process. She said if the City's geotechnical expert felt that the property should not  
244 be built upon and the developer's expert said otherwise then it would go through the appeal  
245 process with three separate experts.

246  
247 Chair Knowlton said hypothetically the answer might be nothing could be built on a property  
248 based on the geotechnical process. Sherrie Pace explained that it could go even further with the  
249 property owner appealing in court. She said a process was in place to ensure everyone was  
250 comfortable with what area was safe to build.

251

252 Commissioner Van Langeveld commented that it was reassuring to her that sometimes the  
253 experts said no instead of just approving every proposal. She said that by the time a development  
254 reached the Planning Commission it was the culmination of years of working through the details.

255  
256 Carl Rupp said when they purchased the property they had to hire professionals and it took two  
257 years of studies and drilling to prove the property was appropriate to build on.

258  
259 **Commissioner Ward moved that the Planning Commission recommend approval to the**  
260 **City Council of the Preliminary Plan and Final Plat Rupp PUD Subdivision (previously**  
261 **Lake View Subdivision), a three lot subdivision at 824 Eaglepointe Drive subject to the**  
262 **following conditions:**

- 263  
264 **1) All construction and use of the lots will conform to the approved Slope Stability**  
265 **Assessment (revision 2) dated December 4, 20202;**  
266 **2) Completion of Engineering Redlines.**

267  
268 **Commissioner Van Langeveld seconded the motion. The motion was approved by**  
269 **Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

270  
271 **7. CONSIDERATION OF A PROPOSED AMENDMENT TO THE GENERAL**  
272 **DEVELOPMENT PLAN & CONCEPT PLAN FOR WILLIAMSBURG LUXURY**  
273 **APARTMENTS AT 256 SOUTH HWY 89, DUAINIE RASMUSSEN, APPLICANT**  
274

275 Sherrie Pace reported that the City Council approved the general development plan for  
276 Williamsburg Luxury Apartments on October 2, 2018. The plan was amended in January 2019  
277 with a change of architecture. Since that time, Castlewood Development has entered into a  
278 purchase agreement with the current owners for the project. The new owners were responsible  
279 for the demolition and removal of the dilapidated structures on the property as part of their  
280 purchase agreement. Originally, the General Development Plan was approved for a total of 214  
281 units in 4 buildings that were four stories high with one building that was mixed use containing  
282 10,444 square feet of retail. The developer would like to amend the plan to three apartment  
283 buildings with one 5 story building and two 4 story buildings each with pedestal level parking,  
284 and one commercial/retail use in a standalone structure.

285  
286 Sherrie Pace explained that Castlewood Development had requested the following changes to the  
287 plan and the development agreement including increasing the number of dwelling units from 214  
288 to 246 for an increase of 32 units, un-mix the residential and commercial land uses, increase the  
289 maximum height for Building A to 5 stories plus pedestal parking, reduce the front setback for  
290 Building B from 27 feet to 25 feet from new curb, and reduce the parking ratio from 1.94 spaces  
291 per unit to 1.81 spaces per unit.  
292

293 The developer has requested an increase in unit count from 214 to 246. The approved density on  
294 the 5.91 acre parcel is 36.2 units per acre. The requested density is 41.6 units per acre. The  
295 biggest concern raised by the increase of units is parking. The DRC has required that each unit  
296 be provided one covered space assigned to it and that this parking is not unbundled from the  
297 tenant leases. Unbundling all parking creates a situation similar to Eaglewood Lofts where  
298 residents did not want to pay extra to have an assigned space, and instead choose to park on  
299 Orchard Drive. The Planning Commission and City Council will need to make a determination  
300 on the increased density and decreased parking ratio as requested. The previous approval set the  
301 parking rate at 1.5 spaces per one bedroom unit and 2 spaces per two to three bedroom unit. The  
302 developer has proposed that the 1.5 spaces per unit be applied to all 246 proposed units for a  
303 total of 445 spaces. She compared the parking requirement from the 2018 approval of 441  
304 required with 415 provided to the 2021 requested amendment of 431 required and 445 provided.  
305 Ms. Pace spoke on the retail building with parking based off the existing restaurant, Chile Amor,  
306 and how many parking spaces would be necessary based off the number of tables. Her  
307 calculations resulted in 31 spaces for the restaurant and 12 spaces for the office space on the  
308 second floor. The developer was proposing a parking ratio of 1.5 spaces per unit and 30 spaces  
309 for the retail/office. Ms. Pace advised the Planning Commission to determine if this requested  
310 change was appropriate.

311  
312 Previously the development agreement required a fence along the front property line. The DRC  
313 has discussed recommending a change that would eliminate the fence along the front property  
314 line and instead would extend the public sidewalk and park strip to the intersection with  
315 Eaglegate Drive. City staff and the developer will approach UDOT regarding the second access  
316 and hope to have this resolved prior to final site plan approval. A condition of approval will  
317 require the submission of a full site plan review including all infrastructure improvements.

318  
319 Sherrie Pace showed renderings of the building elevations, including the clubhouse and  
320 commercial buildings, and said the proposed architecture was similar in design and colors as the  
321 previous design. The DRC has no objection to the proposed architecture. The DRC does  
322 recommend that Building A have a more prominent pedestrian entry near the new bus shelter.  
323 The remainder of the site is similar in layout and use as the previous approval. The elevations for  
324 the commercial building show signage for Chile Amor, to that end the developer is working with  
325 the owners of the restaurant regarding relocating, but have not yet reached an agreement. The  
326 DRC recommended approval with three conditions. She explained that this was just an  
327 amendment to the concept plan. A full site plan evaluation with engineering and civil drawings  
328 would be reviewed by the Planning Commission if the concept plan was approved by the City  
329 Council.

330  
331 Duaine Rasmussen, Castlewood Development, commented on the demolition of the existing  
332 buildings and said this was not originally part of the purchase contract. He said Sherrie Pace  
333 observed that the buildings needed to be removed and they were happy to oblige. Mr. Rasmussen  
334 spoke on the mixed use concept and said that it would create issues for the apartment owner and

335 retailer. He felt that the requirement for one parking space per unit would be adequate especially  
336 with the guest parking and the 30 spaces for retail that would be vacant at night.

337  
338 Commissioner Maus asked for clarification on the parking. She asked if the 30 spaces for retail  
339 would be shared with the residents plus 14 additional spaces. Sherrie Pace clarified that the guest  
340 parking and the retail parking could be shared and the Planning Commission could make the  
341 determination if just 30 spaces were shared and 15 were dedicated for guest parking or the  
342 restaurant or if all 45 were shared.

343  
344 Chair Knowlton asked for clarification on the height increases. Sherrie Pace replied that  
345 originally the limit was 55 feet so Building A would need to be 75 feet to accommodate the  
346 additional story.

347  
348 Commissioner Van Langeveld asked about this development in comparison to the development  
349 across the street and if there was a different standard for the commercial and the parking ratio.  
350 Sherrie Pace clarified that Village Station never requested to unbundle the parking. She said one  
351 building in that development had commercial office space but was abutting the street so the main  
352 floor would have a street presence.

353  
354 Commissioner Van Langeveld said she would be interested to see the parking ratios that were  
355 approved for the Village Station development as well as the Town Center. She spoke on setting a  
356 standard or precedent for parking in this area.

357  
358 Chair Knowlton spoke on setting a precedent and that Commissioner Ward had expressed an  
359 opinion about this in the past. Commissioner Ward said that precedent was not that important in  
360 a P District where there was flexibility or in the Town Center. He said the fundamental question  
361 for this development was whether to let the market dictate or if the City should step in to help  
362 avoid a parking disaster. He explained that there was no overflow parking which may be  
363 problematic if the restaurant was popular or the residents had multiple cars.

364  
365 Commissioner Jorgensen commented on managing parking over time. Duaine Rasmussen replied  
366 that they had significant experience with apartment management and development. He said the  
367 number one issue was parking but felt that they had adequately addressed it by assigning parking  
368 and understanding the market.

369  
370 Chair Knowlton said parking was not an issue to him as there was a variation of parking needs as  
371 some tenants needed less parking, residents who needed the average or more than the average  
372 parking stalls would not choose to live here, and this was a location with high transit access. He  
373 also spoke on affordability and said it was easier for the developer to have lower price points if  
374 they did not have to provide as much parking.

375

376 Sherrie Pace commented on the Village Station parking and said it was done by unit with studio  
377 units at 1.25 spaces, one bedroom at 1.5, two bedrooms at 1.75, and three bedrooms at 2 spaces  
378 per unit. These numbers combined with the known uses for the commercial equaled 1.63 spaces  
379 per unit for that development which was a smaller ratio than what was being asked for with the  
380 proposed development.

381  
382 Duaine Rasmussen commented that they had a development near a transit station in South Salt  
383 Lake and the parking ratio there was 1.1 spaces per unit. He said that they never had issues at  
384 that complex.

385  
386 Commissioner Van Langeveld asked about the proposed green space including a tot lot, dog park  
387 and along the street front. Duaine Rasmussen replied that they tried to meet the requirements and  
388 said there was also a clubhouse and pool area along with trail connections.

389  
390 Chair Knowlton asked about the building heights of adjacent developments. Sherrie Pace said the  
391 development agreement for Eaglewood Village specified that the maximum height for a  
392 residential structure over retail was 100 feet and could be six stories above the retail. The  
393 maximum height for all buildings was 120 feet and seven stories. The Eaglewood Plaza building  
394 was 60 feet tall.

395  
396 Commissioner Ward commented that he was in favor of taller buildings for this development as  
397 it provided screening of the refinery and the highway. The Commission was in agreement.

398  
399 Chair Knowlton spoke on visible height and that the slope falls away from the street. He said he  
400 was unsure of the grade difference was from Highway 89 lot line versus the back lot line. Hayley  
401 Pratt, Castlewood, replied that after reviewing the contour elevations that the elevation at the  
402 street was 4350 and 4326 at the entrance to Building A so there was more than a 20 foot drop.

403  
404 Sherrie Pace commented on the trail connections and said that the City's Edge development  
405 would put in a portion of the trail along Highway 89 and the City applied for a grant to install a  
406 trail along the North Point Apartments over to Hatch Park. This would be a connection from  
407 Highway 89 to the trail.

408  
409 Commissioner Van Langeveld noted that this location was isolated from other green space so she  
410 felt access to Hatch Park was great for the residents of this development.

411  
412 Commissioner Tucker said his concern was the horizontal layout versus the vertical layout and  
413 while he did not like the setback he felt this site plan was better laid out than the previous  
414 iteration.

415  
416 Commissioner Van Langeveld asked if the concern about the building being so close to the street  
417 was an aesthetic or a safety concern. Commissioner Tucker replied that it was more of an

418 aesthetic concern. He said UDOT would prove the sight distance from the intersection so it  
419 should not be a safety concern.

420

421 Commissioner Van Langeveld said she had some safety concerns with removing the fence.  
422 Sherrie Pace responded that the sidewalk would be outside of the fence in the right of way. She  
423 said the fence would have been placed along the property line and a sidewalk would not be  
424 installed but now that the traffic signal was possible the City wanted to install sidewalk there.  
425 She said there would be an eight foot park strip.

426

427 Chair Knowlton asked about setbacks. Sherrie Pace replied that the front setback for the retail  
428 building was two feet from the sidewalk and would be 17 feet from the curb.

429

430 Chair Knowlton commented that this was a different setting than downtown Salt Lake City and  
431 that it was semi-urban. Duaine Rasmussen said that it was a matter of having enough square  
432 footage for the retail building and fitting it all in the available space without sacrificing parking.

433

434 Commissioner Jorgensen asked about the gated emergency vehicle access on the site plan.  
435 Sherrie Pace replied that it was a crash gate for fire department access. She said anything with an  
436 access of less than 150 feet required a turnaround or a second egress by the fire district; however,  
437 UDOT was eliminating access on State highways and would not allow a secondary driveway for  
438 this development but would allow an emergency access.

439

440 Sherrie Pace commented on the setback issue and said the right of way dedication by the retail  
441 building was greater than the right of way in front of the apartment buildings and made a  
442 difference in the setback. This was due to the UDOT right of way.

443

444 Chair Knowlton asked if there was an opportunity for the City to push back on UDOT for a  
445 deceleration lane. Sherrie Pace replied that it would probably be incorporated into the Bus Rapid  
446 Transit. She said that the City would rather focus their efforts on obtaining a traffic signal there.

447

448 **Commissioner Van Langeveld moved that the Planning Commission recommend approval**  
449 **to the City Council of the General Development Plan for Williamsburg Luxury Apartments**  
450 **subject to the following conditions:**

451

452 **1) The sidewalk and park strip on Highway 89 be continued to the future intersection**  
453 **at Eaglegate Drive;**

454 **2) A full site plan which meets the layout and setbacks as presented is submitted for**  
455 **approval;**

456 **3) The development agreement be amended and approved by the City Council to**  
457 **increase the total unit count to 246, a minimum parking ratio of 1.8 spaces per unit**  
458 **and a requirement that 1 parking space per unit be provided for each unit, which**  
459 **space may not be unbundled and rented separately.**

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**Commissioner Ward seconded the motion.**

Chair Knowlton commented that he was unsure why the City would preclude the property owner from unbundling. He asked why the property owner would not be given the flexibility to manage the parking. Sherrie Pace replied that this was her recommendation to try and ensure residents were not parking on the street or at Eaglewood Plaza.

Duaine Rasmussen said that this would not preclude them from assigning parking stalls to units but would preclude them from separating the apartment from the parking.

**The motion was approved by Commissioners Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

8. CONSIDERATION OF FINAL PLAT APPROVAL FOR SILVER SKY PUD AT 212 NORTH HIGHWAY 89, BEN OLSEN, APPLICANT

Sherrie Pace reported that this development consisting of 13 townhome units was located at 212 North Highway 89. Since Preliminary Plan review, the DRC has received information from UTA that additional right of way will be needed for future Bus Rapid Transit (BRT). An additional 10 feet has been requested and the buildings have all been moved 10 feet to the east. This change allows the units in the first building to meet the minimum 18' driveway length. Staff has also been notified that the bus stop needs to be improved with a concrete pad in the park strip. The concrete must be poured at a slope no greater than 2% in order for the bus wheel chair ramp to deploy correctly and safely.

The property is a total of approximately 1.05 acres currently zoned CH with an approved P-District. The general development plan for the property, previously known as Sunview Village, was recommended for approval by the Planning Commission on August 28, 2018 and approved by the City Council on September 4, 2018. The final plat has been reviewed by the DRC and has been recommended for final plat approval. The only outstanding issues are the concrete pad for the bus stop and any engineering redlines. The plat has not been reviewed by the City Engineer to determine if all redlines have been corrected.

Ben Olsen commented that they had worked around the requirement for the additional 10 feet to accommodate future BRT.

Chair Knowlton said it seemed like there were many advantages to the ten feet and asked if there was a downside. Sherrie Pace replied that it took ten feet from the common open area on the north east corner. She said that the developer would come back for phase 2 and this could potentially be remedied by matching the open space for the two phases.

502 **Commissioner Jorgensen moved that the Planning Commission recommend to the City**  
503 **Council approval of the requested final plat with the following conditions:**

- 504
- 505 **1) Addition of a 6x8 concrete pad (2% slope or less) in the park strip at the bus stop**  
506 **location to meet ADA access requirements;**
  - 507 **2) Any outstanding engineering redlines (if any) be addressed, prior to final plat**  
508 **recordation.**

509

510 **Commissioner Maus seconded the motion. The motion was approved by Commissioners**  
511 **Knowlton, Jorgensen, Larson, Maus, Tucker, Van Langeveld and Ward.**

512

513 **9. CONSIDERATION OF FINAL PLAT APPROVAL FOR EAGLEWOOD COVE PUD**  
514 **PH. 13, WILFORD CANNON, APPLICANT**

515

516 Sherrie Pace reported that the previously approved plan for Eaglewood Cove Phases 13-15  
517 consisted of 75 lots east of the existing phases of the Eaglewood Cove development. The concept  
518 plan was approved by the City Council on July 19, 2016. Since that approval the developer has  
519 been conducting an extensive Geological Hazards Investigation of the property leading to  
520 numerous changes in layout design and a reduction from 75 lots to 72 lots. The proposed  
521 development is divided into three phases, 13, 14, and 15. Preliminary Plan approval was granted  
522 on November 10, 2020 with a condition that sidewalks be added to one side of each street. That  
523 correction has been made. The subdivision will also be a planned unit development  
524 (PUD) subdivision to provide for common ownership of the private street, the HOA maintained  
525 storm water detention facilities, and for architectural review prior to building permits.

526

527 The developer of this project has been working with the City geologic consultants to address the  
528 requirements of the 2016 geologic hazards ordinance. Under the ordinance, geotechnical reports  
529 are to be submitted prior Preliminary Plan. The full geologic hazard study has been completed  
530 and reviewed and has been approved by the city geotech consultant. Conditions specific to each  
531 lot regarding requirements of construction have been noted on the plat and are listed in the  
532 approved report. A conditional use permit was approved by the Planning Commission for the  
533 proposed flag lots in the development on July 12, 2016.

534

535 Wilford Cannon clarified that there was now only one flag lot in phase 13 and two flag lots in  
536 phase 14.

537

538 Sherrie Pace said that the flag lot was approved in 2016 and the exception to cul-de-sac length  
539 was approved as part of the concept plan approval. Previously the fire district had required that  
540 the homes on the loop road be fire sprinkled or the road widened, since that time the number of  
541 lots on the loop road has been reduced to less than 30 they are now requesting that as the slope of  
542 the road is greater than 10% that for lots 1301-1303 and 1336 that these homes must have fire  
543 sprinkling systems.

544  
545 The development is divided into 3 plats, plat 13 is 52.7 acres and contains 39 lots with lot sizes  
546 varying from 0.60 acres to 6.34 acres. The final plat has been reviewed by the DRC and have  
547 been recommended for final plat approval. The only outstanding issue relates to the completed  
548 design of the water tank and pump house. The designs are 80% complete and the developers  
549 engineer is working with the engineering staff to complete the design. The DRC has reviewed  
550 the Final Plat and finds that it meets the minimum standards for preliminary plan approval with  
551 the following condition that any remaining engineering redline corrections, specifically the water  
552 tank and pump house construction drawings, be completed prior to recordation of final plat.

553  
554 Commissioner Jorgensen asked for clarification on parcels A, B, C for storm water detention.  
555 Sherrie Pace replied that Parcel A of Phase 13 was owned by the City and contained to water  
556 tanks. She said additional property was being added to accommodate a pump house and new  
557 access to the water tanks. Parcel B and C would be detention basin with access built in including  
558 sewer easements and owned by the HOA.

559  
560 Commissioner Jorgensen then asked about the Kern River right of way for high pressure  
561 pipelines. He said it looked like the buildings were restricted from encroaching on that right of  
562 way but asked about any other encumbrances on landscaping. Sherrie Pace replied that structures  
563 were not allowed but in some instances they would allow sod and concrete driveways but that  
564 Kern River would have to grant approval.

565  
566 Wilford Cannon commented that this section was steep on both sides and would have to  
567 determine what would be permissible. He said the uses would need to be inexpensive as per the  
568 encroachment agreement Kern River would not replace what was removed if they had to access  
569 the line there.

570  
571 Commissioner Jorgensen asked about the scope of the geotechnical report. Sherrie Pace replied  
572 that all known or suspected geological hazards were addressed. She said the geotechnical  
573 consultant worked closely with Utah Geologic Survey (UGS) on all the studies and clarifying  
574 data.

575  
576 **Commissioner Van Langeveld moved that the Planning Commission recommend to the**  
577 **City Council the approval of the proposed final plat for Eaglewood Cove Subdivision,**  
578 **phase 13 located at approximately 600 South Tanglewood Loop, subject to the following**  
579 **findings and conditions:**

580  
581 **Findings:**  
582 **1) The proposed final plat meets the minimum standards of the land use code for final**  
583 **plat approval;**  
584 **2) The proposed layout minimizes the necessary cuts and fills and provides and**  
585 **efficient design;**



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629 *Linda Horrocks, City Recorder*