



CITY OF NORTH SALT LAKE  
COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

**NORTH SALT LAKE PLANNING COMMISSION  
NOTICE & AGENDA  
May 24, 2022  
6:30 p.m.**

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council Chambers located at 10 East Center Street. The agenda will be as follows:

- 1) Welcome, Pledge, and Introduction
- 2) Public comments
- 3) Consideration of site plan amendment approval for the Collective Campus at 1375 West Center Street, Richard Wright, Edifice Design and Architecture, applicant
- 4) Work Session: Town Center Form-Based Code Draft Chapter 5
- 5) Report on City Council actions on items recommended by Planning Commission
- 6) Approval of minutes:

a. 5/10/2022

Adjourn

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours' notice for adequate arrangements to be made. The agenda items may be heard in a different order as warranted by the Commission.

**Notice of Posting:**

I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this 19<sup>th</sup> day of May, 2022

Dated this 19<sup>th</sup> day of May, 2022

Wendy Page  
Wendy Page, City Recorder





# CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

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10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
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## MEMORANDUM

**TO:** Planning Commission  
**FROM:** Mackenzie Bennett, Planner  
**DATE:** May 24, 2022  
**SUBJECT:** Site Plan Amendment for the Collective Campus, 1375 West Center Street

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### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the site plan amendment for the Collective Campus located at 1375 West Center Street with the following conditions:

1. Completion of Engineering redlines;
2. Provide South Davis Metro Fire with access to the gated outdoor storage area and parking on the south side of the property.

### BACKGROUND

There's an existing building located on the property of 1375 West Center Street, which is zoned Manufacturing-Distribution (MD). This building has been used by Legacy Preparatory Academy, but the school has recently relocated to a new facility in Woods Cross. The Green Collective has since purchased the property and applied for a site plan amendment. The Green Collective consists of multiple businesses all under one umbrella company. These businesses include two general contracting firms called GCI and Six Star, a pool contractor called Emerald, and a snowboard company called Cardiff. Cardiff manufactures and distributes its products off site and this location will just be used as an office. All four of the Green Collective businesses will be hosted within the subject building and the property will be known as the Collective Campus.

No major exterior additions will be constructed on the existing building. A 217 sq. ft. vestibule will be added to the main entrance of the building and the façade and interior will be remodeled to better suit the incoming businesses. The parking layout has been reformatted for better traffic flow due to a bus lane no longer being required. The proposed plan will add two new driveway accesses and expand one existing driveway from 25 feet to 40 feet. The landscaping plan is to remove most of the sod and install more street trees and water-wise landscaping.

### REVIEW

**Driveway Access:** The subject property has one existing 30 foot driveway on Center Street and two 25 foot driveways on 1200 West. The proposed plan adds one new 40 foot driveway on Jordan River Drive,

one 40 foot driveway on Center Street, and expands the southernmost existing 25 foot driveway on 1200 West to a total width of 40 feet.

The new driveway on Jordan River Drive and expanded 40 foot driveway on 1200 West will be used to access the gated outdoor storage area and 17 parking stalls for some employees such as those who work in the mechanic shop or equipment yard. The gate will be open during normal business hours. The applicant must work with the South Davis Metro Fire Agency to ensure access to the fenced area in the event of an emergency.

The new 40 foot driveway on Center Street will be used to access the mechanic shop. The applicant has indicated that the traffic generated to this driveway will be no more than 10 vehicles or pieces of equipment per day. The area that is to be used as the mechanic shop was the school gymnasium. The applicant will add 4 bay doors to the wall facing Center Street for access to the shop.

City code 10-6-2 allows non-residential lots up to two driveways on any frontage greater than 200 feet. This property has 3 frontages, each with a length of approximately 400+/- feet. The City Engineer has reviewed the placement of the existing and proposed driveways and deemed them compliant with code.

**Parking:** The parking layout was altered and brought into compliance with the current City code regarding landscaped parking islands, drive aisles, and access routes. The parking requirements are calculated below:

Use	Code 10-6-5	Square Footage	Parking Count
Contractor's yard, business service	1 stall per 500 sq. ft.	12,262	25
General Office	1 stall per 250 sq. ft.	15,319	62
On site warehouse storage	2 stalls per 1,000 sq. ft.	2,564	6
Auto repair, body shop, and parts	3 stalls per service bay	4 Bays	12
<b>Required Parking Stalls</b>			<b>105</b>
<b>Provided Parking</b>			<b>101</b>

City code section 10-6-5 (J) provides that the Planning Commission, upon the advice of the Community Development Director, shall determine the minimum required off street parking. The DRC and Community Development Director support approving the site plan amendment with 101 parking stalls because the applicant has confirmed that those stalls will be adequate for the employees and guests of the Green Collective. The Green Collective estimates that approximately 75 employees will be working at this location daily.

The Americans With Disabilities Act requires that when there are 101-150 parking stalls in a parking lot, there must be a minimum of 5 ADA stalls. The applicant has provided 6 ADA stalls and therefore complies.

**Outdoor Storage:** The outdoor storage area is behind the building (to the south) and along 1200 West. This area will be used to store construction equipment and on occasion, construction materials. The entire area will be paved with asphalt and accessible during business hours when the gate is unlocked and open.

The outdoor storage area will be screened from the public right of way of 1200 West with a 6 foot precast concrete wall with a stone pattern. The wall will be setback a minimum of 20 feet from the road, except when adjacent to the existing outdoor amphitheater area. To preserve the existing amphitheater feature, the wall will go within 14.71 feet of the road at the closest point and then jog back to a 28.48 foot setback where it will then connect to the building.

The rear yard setback area will be fenced along Jordan River Drive with a 7 foot chain link fence, with a mesh screening material. The fence will be setback a minimum of 20 feet from the road. It will have 3 strands of tightly strung barbed wire on top of it for security purposes. Both access driveways for the outdoor storage area will have a 7 foot chain link gate that swings into the property and is screened with the same mesh material. The gates will have 3 strands of tightly strung barbed wire on top. All the walls, fences, and gates are compliant with City code.

**Landscaping:** According to the current code, the minimum required landscaping in the MD zone is 10% of the property. The proposed plan provides 19% landscaping (33,532 sq. ft.). Of that square footage, 12,264 sq. ft. will be sod which equals 37% of the landscaped area and 7% of the entire lot (buildings/hardscape included). The applicant has complied with the street tree ordinance and regulations regarding landscaped parking islands.

## **ARCHITECTURAL REVIEW**

The City's non-residential building design standards aim to improve the quality of construction and architectural aesthetics in non-residential areas of the City. The standards call for all buildings that are visible from a public right of way comply with the standards listed below. The proposed vestibule addition and exterior façade renovations meet architectural design guidelines and are compliant with code.

### **Massing**

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*max height 45 feet (meets standard)*
- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*
- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (meets standard)*

### **Materials**

- High quality materials-factory finished, integrally colored, or otherwise suitably treated **(meets standard)**
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%) **(meets standard)**
- Metal roofs & doors permitted **(meets standard)**

## **POSSIBLE MOTION**

I move that the Planning Commission approve the site plan amendment for the Collective Campus located at 1375 West Center Street with the following conditions:

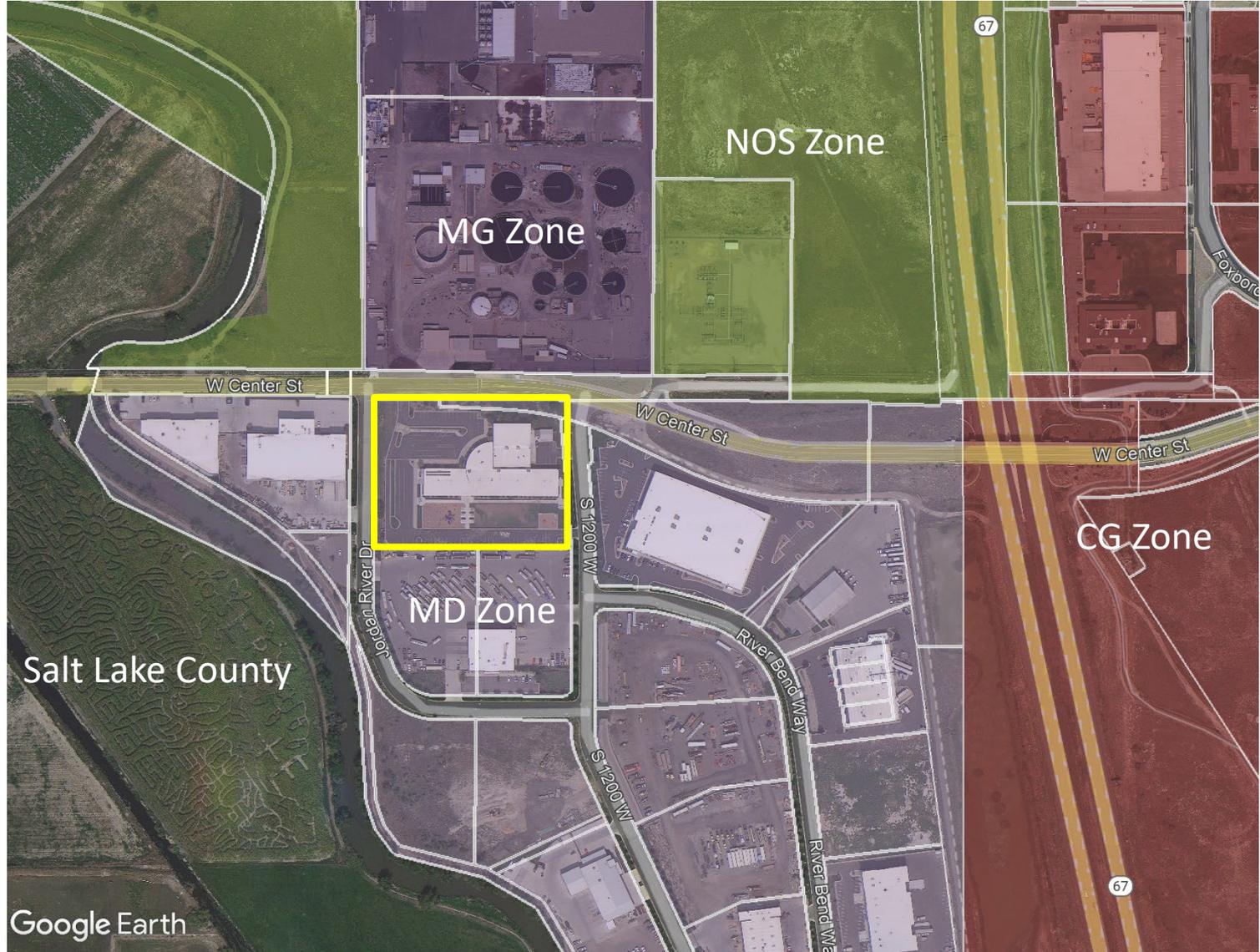
1. Completion of Engineering redlines;
2. Provide South Davis Metro Fire with access to the gated outdoor storage area and parking on the south side of the property.

## Attachments

- 1) Zoning/Aerial Maps
- 2) Site Plan
- 3) Landscape Plan
- 4) Architectural Elevations



# The Collective Campus - Site Plan Amendment 1375 West Center Street Zoning

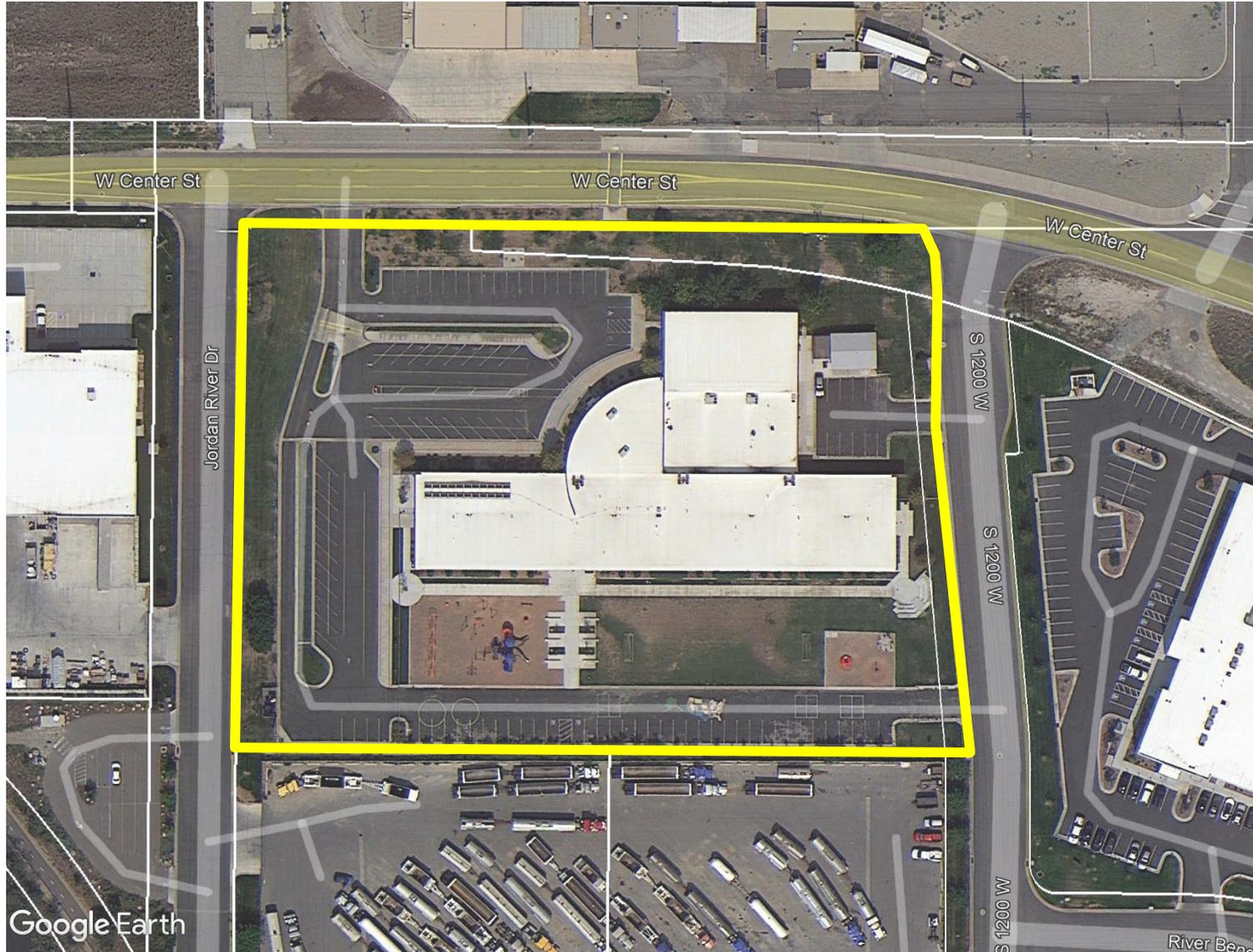




# The Collective Campus - Site Plan Amendment

## 1375 West Center Street

### Aerial



# COLLECTIVE CAMPUS BUILDING RENOVATION

1375 WEST CENTER STREET  
NORTH SALT LAKE CITY, UTAH  
IRONHORSE INVESTMENTS

SITE PLAN APPLICATION - REVISED

MAY 18, 2022



EDITICE  
DESIGN + ARCHITECTURE



Scale: 1" = 20'  
Graphic Scale



EDIFICE  
DESIGN + ARCHITECTURE

352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.edificeut.com

stamp:

**GREAT BASIN ENGINEERING**

consultant:

IRONHORSE INVESTMENTS

owner:

COLLECTIVE CAMPUS BUILDING RENOVATION

1375 WEST CENTER STREET  
NORTH SALT LAKE CITY, UTAH

project:

PROJECT STATUS  
**PERMIT REVIEW SET**

MAY 4, 2022

DATE	REVISIONS	DESCRIPTION

Project # 22201.0

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**SITE KEY NOTES**

- CONSTRUCTION LIMIT LINE
- CONSTRUCT FLARED DRIVE APPROACH PER NORTH SALT LAKE STANDARDS & SPECIFICATIONS. (SEE DETAIL SHEET CD501)
- CONSTRUCT 24" SPILL CURB & GUTTER (SEE DETAIL SHEET CD500)
- CONSTRUCT 24" CATCH CURB & GUTTER (SEE DETAIL SHEET CD500)
- CONSTRUCT CONCRETE SIDEWALK (T=4") (SEE DETAIL SHEET CD900)
- CONSTRUCT 4" WHITE PAINTED STRIPING (SEE DETAIL SHEET CD500)
- CONSTRUCT ACCESSIBLE RAMP W/ TRUNCATED DOME WARNING STRIP PER NORTH SALT LAKE CITY STANDARDS & SPECIFICATION (SEE DETAIL SHEET CD501)
- LANDSCAPE (SEE LS SERIES SHEETS)
- CONSTRUCT DUMPSTER ENCLOSURE & CONCRETE PAD (T=8") (SEE ARCH. PLANS FOR DETAILS)
- CONSTRUCT 4" WIDE SIDEWALK PER NORTH SALT LAKE CITY STANDARDS & SPECIFICATION (SEE DETAIL SHEET CD501)
- CONSTRUCT ACCESSIBLE PARKING STRIPING (SEE DETAIL SHEET CD500)
- CONSTRUCT ACCESSIBLE PARKING SIGNS (SEE DETAIL SHEET CD500)
- CONSTRUCT CONCRETE PAVING (T=7") (SEE DETAIL SHEET CD500)
- LIGHT POLE LOCATION (SEE ELECTRICAL PLANS)
- CONSTRUCT HEAVY DUTY ASPHALT PAVING (SEE DETAIL SHEET CD500)
- TRANSFORMER LOCATION (SEE ELECTRICAL PLANS)
- CONST. PRECAST SCREEN WALL (SEE ARCH. PLANS FOR DETAILS)
- CONST. 7" CHAIN LINK SECURITY FENCE W/ 4 STRANDS BARBED WIRE & PRIVACY SLATS (SEE ARCH. PLANS FOR DETAILS)
- RETENTION POND LOCATION
- CONST. (2) 20.0" WIDE 1" TALL CHAIN LINK SWING GATE SECURITY FENCE W/ 3 STANDS BARBED WIRE & PRIVACY SLATS (SEE ARCH. PLANS FOR DETAILS)
- 10.0'x10.0" SIGHT TRIANGLE
- CONST. 5.0' WIDE PARK STRIP

**Legend**

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
  - Water Manhole
  - Storm Drain Manhole
  - Cleanout
  - Electrical Manhole
  - Catch Basins
  - Water Meter
  - Gas Manhole
  - Fire Hydrant
  - Exist. Fire Hydrant
  - Water Valve
  - Sanitary Sewer
  - Culinary Water
  - Gas Line
  - Irrigation Line
  - Storm Drain
  - Telephone Line
  - Secondary Waterline
  - Power Line
  - Fire Line
  - Land Drain
  - Power pole
  - Power pole w/ guy
  - Light Pole
  - Fence
  - Fluorine of ditch
  - Overhead Power line
  - Corrugated Metal Pipe
  - Concrete Pipe
  - Reinforced Concrete Pipe
  - Asphalt
  - Polyvinyl Chloride
  - Top of Asphalt
  - Edge of Asphalt
  - Center Line
  - Flowline
  - Finish Floor
  - Top of Curb
  - Top of Walk
  - Top of Sidewalk
  - Top of Concrete
  - Natural Ground
  - Finish Grade
  - Match Existing
  - ME
  - FC
  - Fire Department Connection
  - FC
  - 90
  - Exist. Contour
  - Finish Grade
  - 95.27A
  - 95.72A
  - Exist. Grade
  - Ridge Line
  - 8
  - Direction of Flow
- Existing Asphalt
  - New Asphalt
  - Heavy Duty Asphalt
  - Existing Concrete
  - New Concrete
  - Spill Curb & Gutter
  - Demo Tree
  - Cut/Fill Area over 5.0'

**SITE DATA TABLE**

<b>TOTAL PROPERTY AREA:</b>	174,241 SF (4.0 ACRES)
<b>BUILDING:</b>	38,824 SF (0.89 ACRES) (22%)
<b>HARDSCAPE:</b>	101,885 SF (2.34 ACRES) (59%)
<b>LANDSCAPE:</b>	33,532 SF (0.77 ACRES) (19%)
<b>REQUIRED PARKING:</b>	78 STALLS (1 STALLS/500 SF)
<b>PROVIDED STALLS:</b>	101 STALLS TOTAL 95 STANDARD 6 ACCESSIBLE (5 Required)

GENERAL SITE NOTES:

- Stalls designated as accessible will require a pointed accessible symbol and sign. (See details)
- Fire line markings and signs to be installed as directed by the Fire Marshall. Road widths equal to or less than 32 feet shall require red curbside pointing and "No Parking" signs that are approved positioned along the fire apparatus access routes. (See detail on sheet CD503)
- Asile markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
- All dimensions are to back of curb unless otherwise noted.
- Fire hydrants and access roads shall be installed prior to construction of any buildings.
- All fire hydrants shall be placed with the 4 1/2" connection facing the point of access for Fire Department Apparatus.
- All fire apparatus access roads shall be a minimum all-weather, drivable and maintainable surface. There shall be a minimum clear and unobstructed width of not less than 26 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Dead-end roads created in excess of 150 feet in length shall be provided with an approved turn-around.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

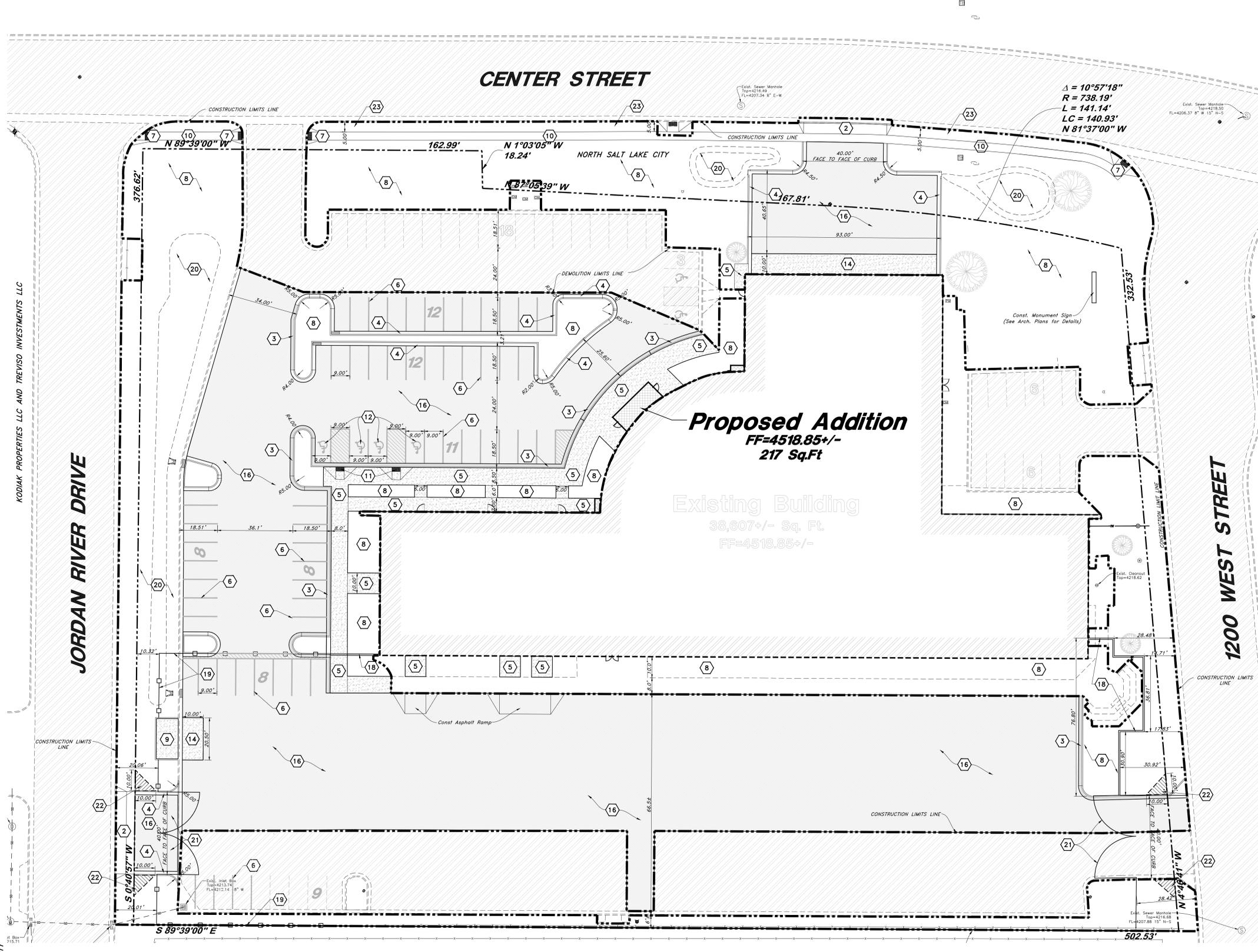
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY



**CENTER STREET**

**Proposed Addition**  
FF=4518.85+/-  
217 Sq.Ft

Existing Building  
38,807+/- Sq. Ft.  
FF=4518.85+/-



NORTH SALT LAKE CITY SUMMIT OIL COMPANY LLC

**SITE PLAN - PROPOSED**  
1" = 20'-0"

**CIVIL SITE PLAN**

CS100

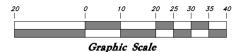


EDIFICE  
DESIGN + ARCHITECTURE

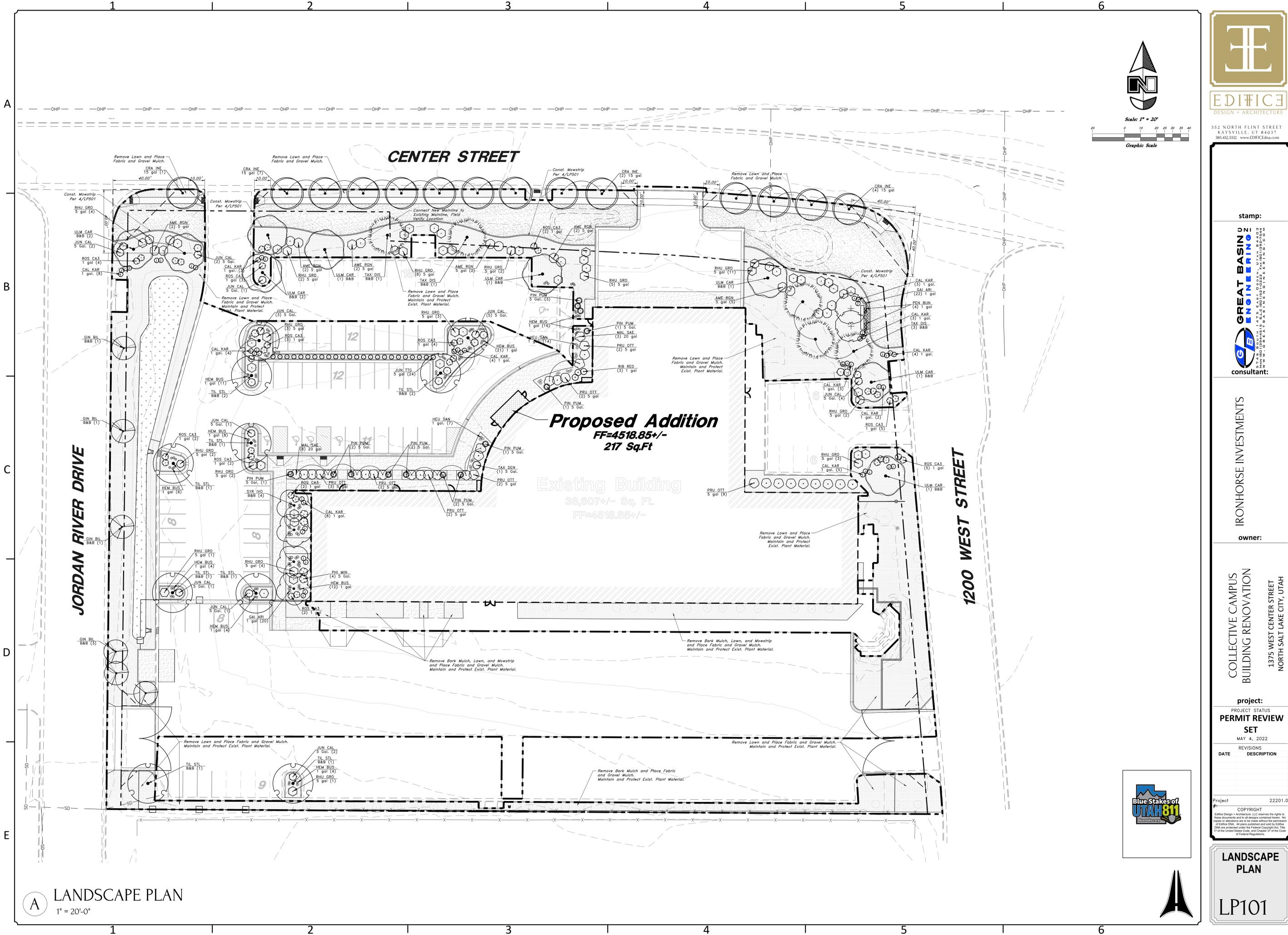
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.edificeutah.com



Scale: 1" = 20'



Graphic Scale



**Proposed Addition**  
FF=4518.85+/-  
217 Sq.Ft

Existing Building  
38,607+/- Sq. Ft.  
FF=4518.85+/-

JORDAN RIVER DRIVE

1200 WEST STREET

CENTER STREET

A  
B  
C  
D  
E

1 2 3 4 5 6

A LANDSCAPE PLAN  
1" = 20'-0"



stamp:



consultant:

IRONHORSE INVESTMENTS

owner:

COLLECTIVE CAMPUS  
BUILDING RENOVATION  
1375 WEST CENTER STREET  
NORTH SALT LAKE CITY, UTAH

project:

PROJECT STATUS

PERMIT REVIEW

SET

MAY 4, 2022

REVISIONS

DATE DESCRIPTION

Project 22201.0

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LANDSCAPE PLAN

LP101



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PROJECT STATUS  
**SITE PLAN  
APPLICATION**  
MAY 4, 2022

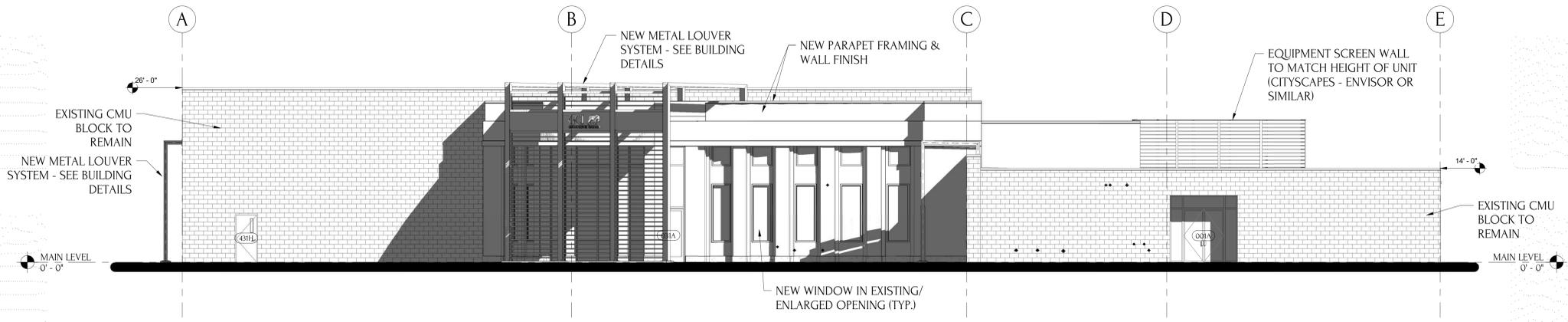
REVISIONS	
DATE	DESCRIPTION

Project #: 22201.02

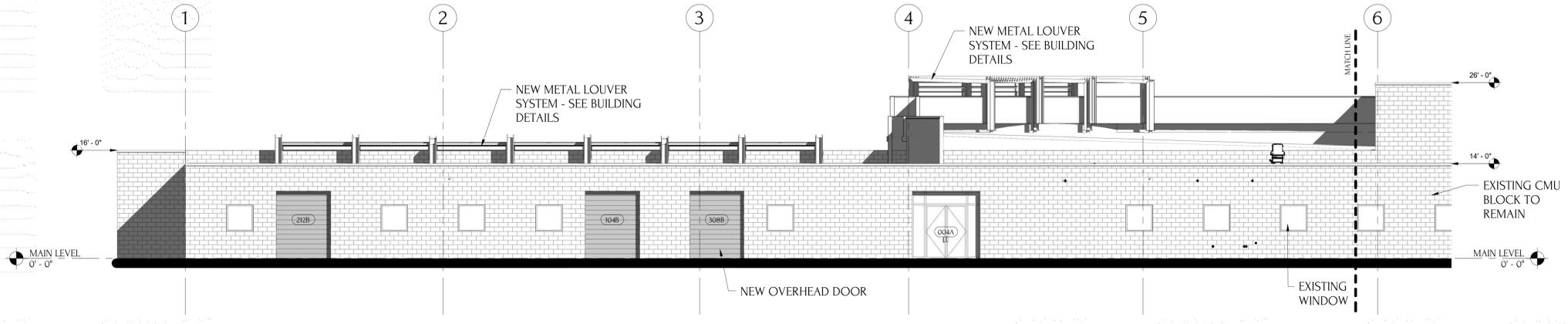
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**EXTERIOR  
ELEVATIONS -  
PROPOSED**  
**A201**

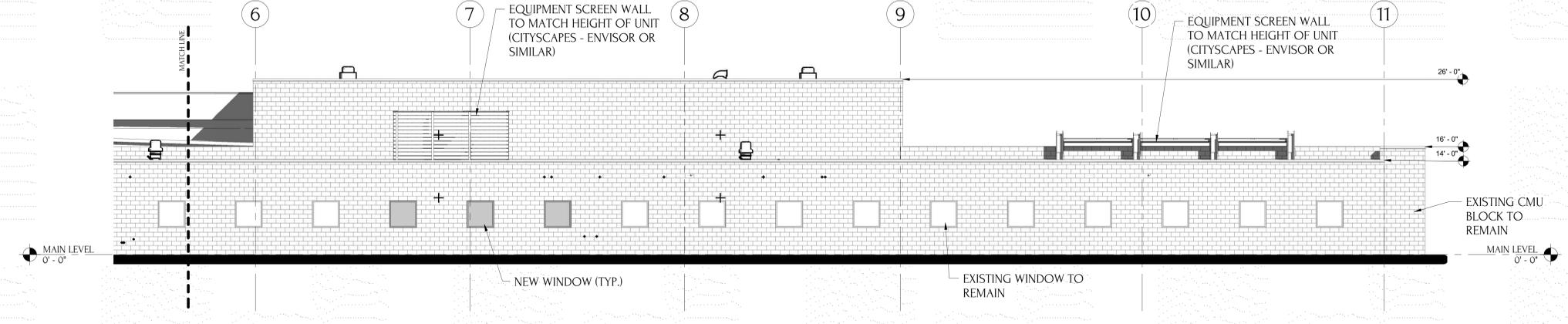
EXTERIOR WALL MATERIAL PERCENTAGES			
ORIENTATION	MATERIAL	SQUARE FOOTAGE	PERCENTAGE
WEST 4079 S.F.	CMU	2139 S.F.	52%
	STUCCO	1200 S.F.	30%
	OPENINGS	740 S.F.	18%
SOUTH 7232 S.F.	CMU	5848 S.F.	81%
	STUCCO	544 S.F.	7%
	OPENINGS	840 S.F.	12%
EAST 4173 S.F.	CMU	3455 S.F.	82%
	STUCCO	160 S.F.	4%
	OPENINGS	578 S.F.	14%
NORTH 7222 S.F.	CMU	4155 S.F.	58%
	STUCCO	1133 S.F.	15%
	OPENINGS	1934 S.F.	27%



**1 WEST ELEVATION - PROPOSED**  
1/8" = 1'-0"



**2 SOUTH ELEVATION (PARTIAL) - PROPOSED**  
1/8" = 1'-0"



**3 SOUTH ELEVATION (PARTIAL) - PROPOSED**  
1/8" = 1'-0"



**EDIFICE**  
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IRONHORSE INVESTMENTS

COLLECTIVE CAMPUS  
BUILDING RENOVATION  
1375 WEST CENTER STREET  
NORTH SALT LAKE CITY, UTAH

project:

PROJECT STATUS  
**SITE PLAN  
APPLICATION**

MAY 4, 2022

REVISIONS	
DATE	DESCRIPTION

Project #: 22201.02

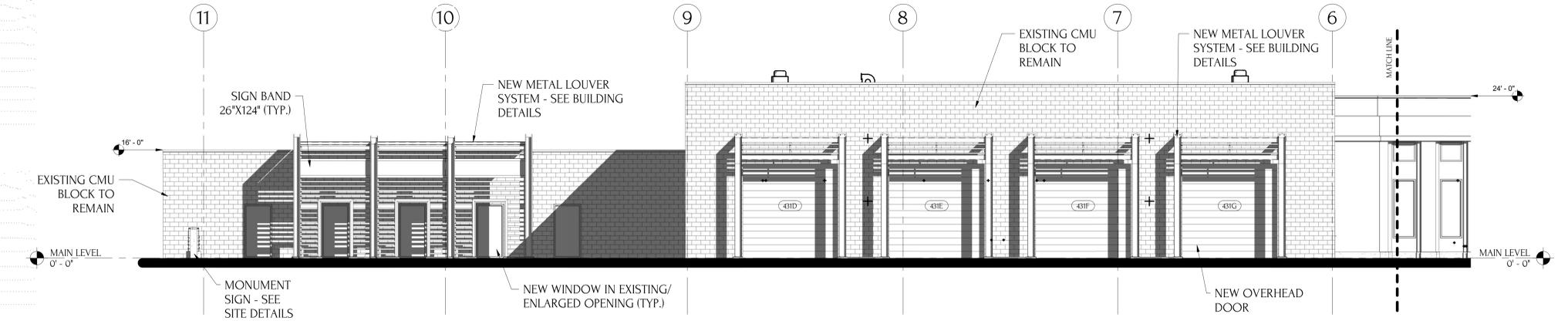
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**EXTERIOR  
ELEVATIONS -  
PROPOSED**  
**A202**

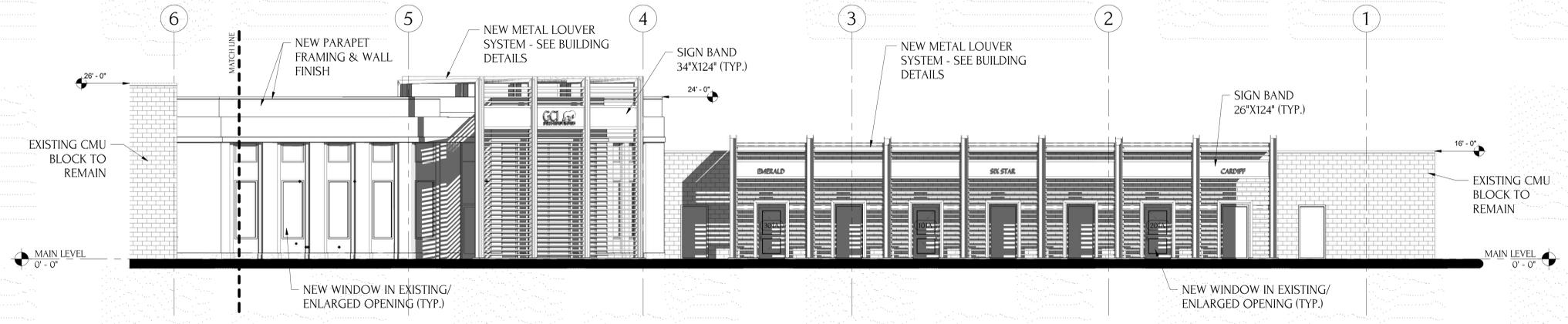


EXTERIOR WALL MATERIAL PERCENTAGES			
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NORTH 7222 S.F.	CMU	4355 S.F.	58%
	STUCCO	1333 S.F.	15%
	OPENINGS	1934 S.F.	27%

**4 EAST ELEVATION - PROPOSED**  
1/8" = 1'-0"



**5 NORTH ELEVATION (PARTIAL) - PROPOSED**  
1/8" = 1'-0"



**6 NORTH ELEVATION (PARTIAL) - PROPOSED**  
1/8" = 1'-0"

## CHAPTER 25 TOWN CENTER ZONE

### SECTION 5: BUILDINGS

#### **10-25-501: General Requirements**

#### **10-25-502: Building Type Elements, Measurement, and Design Requirements**

#### **10-25-503: Storefront Building**

#### **10-25-504: Stacked Flat Building**

#### **10-25-505: Limited Bay Building**

#### **10-25-506: Row Building**

#### **10-25-507: Yard Building**

#### **10-25-508: Civic Building**

#### **10-25-509: Adaptive Reuse Building**

### **10-25-501: GENERAL REQUIREMENTS**

#### **A. Intent.**

The following section establishes permitted building types within the North Salt Lake Town Center subdistricts, and provides the requirements for site design and layout. The regulations within this section are integral to the built environment to ensure that building form relates appropriately to the street to create a viable and walkable Town Center.

#### **B. General Requirements.**

The Building Types detailed in this Section are the required building forms for new construction within the subdistricts defined in 10-25-301. Existing structures shall be required to comply when renovations exceed that of normal regular maintenance. The Planning Commission may waive specific requirements for renovated buildings, where structural or physical conditions exist that render compliance unfeasible.

All Building Types shall meet the following requirements:

1. Subdistricts. Each Building Type shall be constructed only within its designated subdistricts.
2. Uses. Each Building Type can house a variety of uses depending on the subdistrict in which it is located, see section 10-25-401. **Some Building Types have additional limitations on permitted uses.**
3. No Other Building Types. All buildings constructed shall meet the requirements of one of the Building Types permitted within the subdistrict of the lot.
4. Permanent Structures. All buildings constructed shall be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile.
5. Frontage. All principle buildings shall be built with street frontage. **Public Right-of-ways such as trails shall be treated the same as streets**, however buildings shall front onto at least one street.

6. Accessory Structures.
  - a. Detached accessory structures are permitted per each Building Type and shall comply with all setbacks that apply to the primary structure.
  - b. Accessory structures shall be constructed or finished in the same architectural style, colors, and materials as the primary structure.
  - c. Detached accessory structures are not permitted in the front yard.
  - d. Detached accessory structures shall be located behind the principal structure in the rear yard.
  - e. Detached accessory structures shall not exceed the height of the principal structure.
7. Building Length. Buildings shall not exceed 400' in maximum length along any frontage. For row buildings, units must be at least 18' wide.
8. Visible Basements. The visible basement shall be a maximum of one-half the height of the tallest story.

**Table 5.1 Permitted Building Types by Subdistrict**

	Core	Arts/Park	Center & Orchard	Boulevard	North 89	Edge
<b>Storefront</b>	P	P	P	P	P	N
<b>Stacked Flats</b>	P	P	P	P	P	N
<b>Limited Bay</b>	P <sub>2</sub>	P	P	P	P <sub>2</sub>	N
<b>Row Building</b>	P <sub>1</sub>	P	P <sub>1</sub>	P	P <sub>2</sub>	P
<b>Yard Building</b>	N	N	N	N	P <sub>1,2</sub>	P
<b>Civic Building</b>	P	P	P	P	P	P

P = Permitted

N = Not Permitted

1: Not permitted fronting US 89.

2: Not permitted within 200' of the intersection of Center Street and US 89, or within 200' of the intersection of 350 N and US 89.

**10-25-502: BUILDING TYPE ELEMENTS, MEASUREMENT, AND DESIGN REQUIREMENTS**

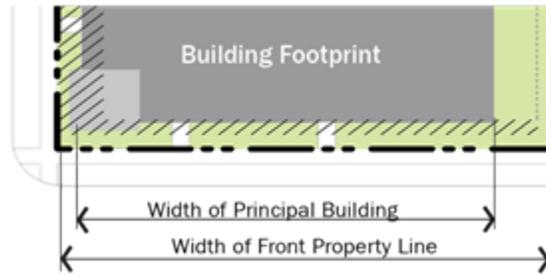
**A. General Design Requirements.**

The following additional requirements apply to all building types and uses.

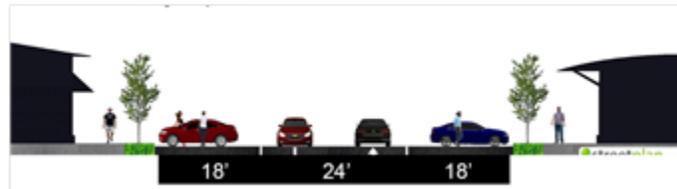
1. Front Property Line Coverage. The Front Property Line Coverage shall be measured as a percentage of the front property line of the parcel, by dividing the width of the principal structure(s) by the maximum width of the front property line of the parcel. See Figure 5.2.
  - a. Front property lines not covered by buildings shall be courtyards, plazas, or other landscaped features.
  - b. Side yard Parking. Lots with 200 feet of street frontage or greater are permitted one double-loaded aisle of parking with a maximum paved width of 60 feet, located perpendicular to the front property line and not on a corner. Front property line

coverage requirement is reduced by the width of the parking area up to 60 feet. See Figure 5.3

**Figure 5.2 Measuring Front Property Line Coverage**

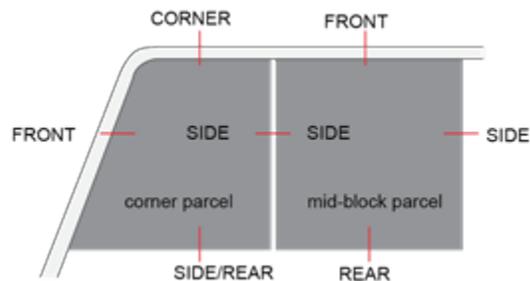


**Figure 5.3 Side Yard Parking Cross Section.**



2. Setbacks. See Figure 5.4 for applicable setbacks.
  - a. All setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
  - b. For lots that are not square, the Planning Commission may grant variances in the Corner Setback Minimum and Maximum where necessary.
  - c. Occupation of Corner. For lots at the intersection of two streets, the corner must be occupied for all building types excluding Civic Buildings.
  - d. ADA Compliance. The Planning Commission may grant a reasonable variance for additional public space to accommodate ADA access if necessary.
  - e. Topographic or Utility Constraints. The Planning Commission may grant a reasonable variance in the even that topographic challenges or utility infrastructure significantly impact the ability to meet setback requirements.

**Figure 5.4 Setback Application.**



3. Maximum Impervious Coverage. The maximum impervious lot coverage shall be governed by **Table 5.5** Maximum Impervious Coverage as a percentage of the total lot.

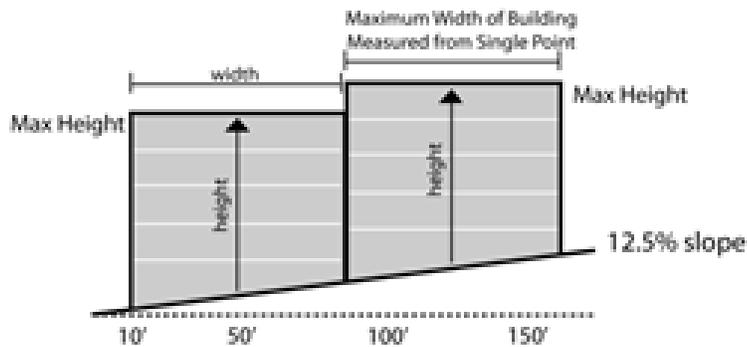
**Table 5.5 Maximum Impervious Coverage**

	Subdistricts					
	Core	Arts/Park	Center & Orchard	Boulevard	North89	Edge
<b>Storefront</b>	90%	90%	90%	90%	85%	NA
<b>Stacked Flats</b>	80%	80%	80%	80%	80%	NA
<b>Limited Bay</b>	90%	85%	85%	85%	85%	NA
<b>Row Building</b>	80%	75%	75%	75%	75%	70%
<b>Yard Building</b>	NA	NA	NA	NA	60%	60%
<b>Civic Building</b>	80%	80%	80%	80%	80%	80%
NA = Not Applicable Building Type for Subdistrict						

4. Vehicular Access. The permitted means of vehicular ingress and egress to the lot.
  - a. Alleys, when present, shall always be the primary means of access.
  - b. When alleys are not present, a driveway may be permitted per Building Type and, if an alternative is available, shall not be located off a Primary Street.
  - c. All vehicular access from highway 89 shall conform with the UDOT Access Plan.
  - d. Driveway width. Refer to Title 10 Chapter 6 of the North Salt Lake Code.
5. Maximum Overall Height. The sum of a building’s total number of stories.
  - a. Half stories are located either completely within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
  - b. A building incorporating both a half story within the roof and a visible basement shall count the height of the two half stories as one full story.
  - c. Building Height and Elevation Change. Structures build on a slope shall be required to step the building sections incrementally based upon the average slope of the lot. The maximum height of a structure on a slope shall be limited to maximum width at the following width increments. **See Figure 5.5**

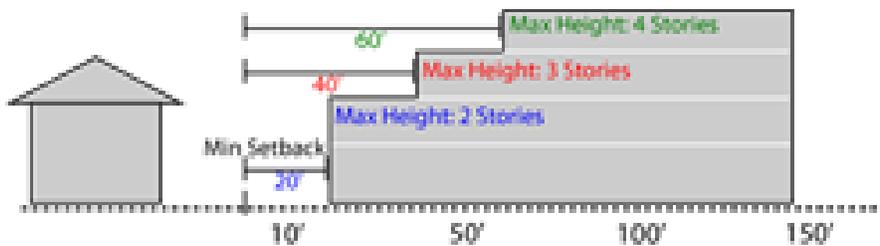
Average Slope of Lot	Maximum Width for Portion of Building that May Be Measured from a Single Point
5 to 15 Percent	70 Feet
>15 Percent to 20	55 Feet
>20 Percent	40 Feet

Figure 5.5. Elevation Change Measurement Requirements and Diagram.



- d. Single Family Home Transitions. To transition from residential neighborhoods into the Town Center, a graduated setback is required from shared property lines with existing single family homes in the Edge subdistrict or outside the Town Center boundary. The minimum setback from the shared property line is 20'. Beyond 20' of the shared property line with an existing single family home, a building may be a maximum of 2 stories or 35'. Beyond 40' of the shared property line of an existing single family home in the applicable areas, a building may be a maximum of 3 stories or 45'. Beyond 60' of the shared property line of an existing single family home in the applicable areas, a building may be a maximum of 4 stories or 55'. See Figure 5.6.

Figure 5.6 Single Family Home Transition Diagram.



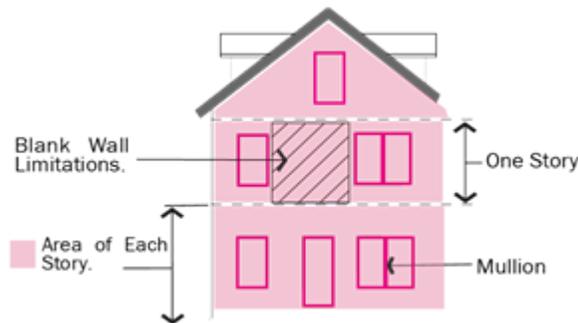
6. Ground Story and Upper Story, Minimum and Maximum Height. (Refer to **Figure 5.7** Measuring Height). Each frontage type includes a permitted range of height in feet for each story. Additional information is as follows:
  - a. Story height is measured in feet between the floor of a story to the floor of the story above it.
  - b. Story height requirements apply only to street facing facades.
  - c. For single story buildings and the uppermost story of a multiple story building, story height shall be measured from the floor of the story to the tallest point of the roof.

**Figure 5.7 Measuring Height.**



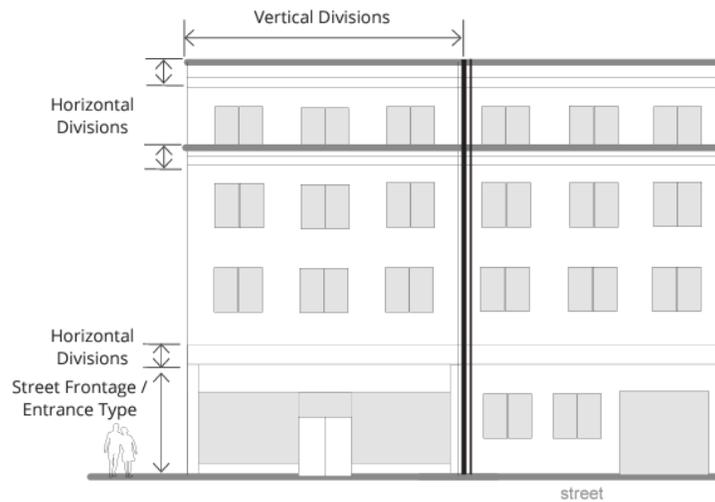
7. Street Facade Requirements. Street Facade Requirements apply only to facades facing an existing or proposed public or private right-of-way. The rear or interior side yard facades are not required to meet these standards unless otherwise stated.
8. Minimum Ground Story and Upper Floor Transparency. (See **Figure 5.8**) The minimum amount of transparency required on street facades with street frontage, measured by the ratio of the area of the total windows on a story to the area of the story total.
  - a. Transparency is any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance.
  - b. Blank Wall Limitation. Required for all building types except for Civic building types.
    - (i) No rectangular area greater than 30% of a story's facade, as measured from floor to floor, may be windowless; and
    - (ii) No horizontal segment of a story's facade greater than 15 feet in width may be windowless.

**Figure 5.8 Measuring Transparency on each story.**



9. Horizontal Facade Divisions. The use of a vertically oriented expression line or form to divide the facade into increments no greater than the dimension shown, as measured along the base of the facade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of one and a half inch depth. (See **Figure 5.9**)
10. Vertical Facade Divisions. The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth. (See **Figure 5.9**)

**Figure 5.9 Façade Divisions.**



## B. Entrance Requirements.

The following provisions apply to all entrances.

1. Intent. The design of the ground story of all buildings shall relate appropriately to pedestrians on the street and have a clearly defined entrance.
2. Applicability. The Primary Building Entrances of all buildings, required per Building Type, shall meet these requirements.
  - a. Entrance Recession or Covering. Any Primary Entrance shall either be recessed or provide an awning, porch, covered or arcade walkway, or balcony. The depth of the recession or covering must be at least 5', and must be 1' wider than the entrance on both sides measured in line with the building facade.
  - b. Porches and arcade walkways must be at least 5' deep and may not be deeper than 10'.

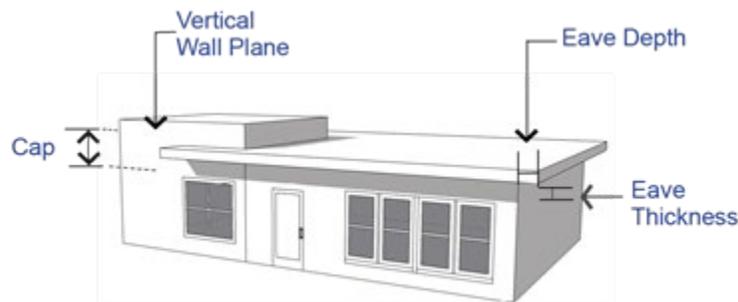
## C. Roof Requirements.

The following provisions apply to all roofs.

1. Intent. The design of rooflines shall add visual interest and reduce the massive scale of large structures within the Town Center.

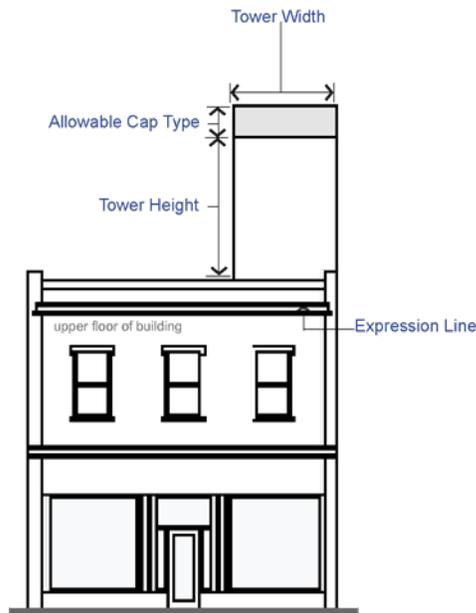
2. Roof Height. Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to the maximum floor height permitted for the Building Type.
3. Roof Screening. Roof appurtenances must be screened from view of the street(s) using elements described in the requirements below.
4. Variation in Roof Line. Any facade visible from a public right-of-way, including pedestrian, transit, and bicycle corridors, shall include a parapet or other roof variation such as clerestories, dormers, gables, cupolas, or other architectural roof projections that vary in height by at least two feet (2') for each sixty (60) linear feet of facade length.
5. Parapet Height. Height is measured from the top of the upper story to the top of the parapet.
  - a. Minimum height is two feet with a maximum height of six feet.
  - b. The parapet shall be high enough to screen the roof and any roof appurtenances from view of the street(s).
6. Flat Roofs. Roofs with no visible slope are permitted. Eaves are required on all street facing facades.
  - a. Eave Depth. Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least 14 inches.
  - b. Eave Thickness. Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight inches thick.
  - c. Interrupting Vertical Walls. Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap. Vertical walls shall extend no more than four feet above the top of the eave.

**Figure 5.10. Flat Roof**



7. Towers. All Building Types, with the exception of the Civic Building, are limited to one tower per building. (See Figure 5.11)
  - a. Tower Height. Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one upper floor of the building to which the tower is applied.
  - b. Tower Width. Maximum width along all facades is one-third the width of the front facade or 30 feet, whichever is less.
  - c. Tower Cap. The tower may be capped by the parapet, pitched, low pitched, or flat roof types, or the spire may cap the tower.

**Figure 5.11. Tower**



8. Pitch Measure. The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12.
  - a. Slopes less than 4:12 are permitted to occur on second story or higher roofs.
9. Butterfly Roofs. Butterfly roofs, or inverted gable roofs, are permitted only fronting US 89 in the Core and North 89 Districts, or anywhere in the Arts & Park and Edge Districts.
10. Not Permitted. Gambrel, mansard, and clay roof tiles are not permitted.
11. Roof Materials. Acceptable roof materials include asphalt composite shingles, metal tiles or standing seam, slate, and ceramic tile. "Engineered" wood or slate may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.

**D. Materials and Color.**

1. Intent. Exterior building materials and colors comprise a significant part of the visual impact of a building and affect a building's appearance and cohesiveness within the Town Center. Design criteria improves the physical quality of buildings, enhances the pedestrian experience, and protects the character of the neighborhood.
2. Primary Facade Materials. 80% of each facade shall be constructed of primary materials. For facades over 100 square feet, more than one material shall be used to meet the 80% requirement.
  - a. Permitted primary building materials include high quality, durable, natural materials, such as stone or brick; ship lap siding; fiber cement board lapped, shingled, or panel siding; and glass. Other high quality synthetic materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.

3. Secondary Facade Materials. Secondary facade materials are not to exceed 20% of the building facade. Secondary materials are limited to details and accents and include gypsum reinforced fiber concrete for trim and cornice elements; metal for beams, lintels, trim, and ornamentation, and exterior architectural metal panels and cladding.
  - a. Exterior Insulation and Finishing Systems (EIFS) is permitted for trim only or on upper floor facades only.
4. Primary building materials shall not include the following:
  - a. Smooth-faced concrete block;
  - b. Tilt-up concrete panels; and
  - c. Pre-fabricated steel panels.
5. Color. Permitted colors shall be low reflectance, subtle, neutral or earth tones such as that of brick or wood, earth tones (greens, tans, light browns, terracotta), grays, pale primary and secondary colors, and white and cream tones.
  - a. Accent Colors. Other colors may be utilized for building trim and accents, not to exceed a total area larger than 10% of the facade surface area. No more than two accent colors may be used per building.
  - b. Not Permitted. Bright or fluorescent colors are prohibited.
6. Appropriate Grade of Materials. Commercial quality doors, windows, and hardware shall be used on all Building Types with the exception of the Row Building and the Yard Building.

**E. Windows, Awnings, and Shutters.**

1. Windows. All upper story windows on all historic, residential, and mixed use buildings shall be recessed, double hung. Percent of transparency is required per Building Type.
2. Awnings. All awnings shall be canvas or metal. Plastic awnings are not permitted. Awning types and colors for each building face shall be coordinated.
3. Shutters. If installed, shutters, whether functional or not, shall be sized for the windows. If closed, the shutters shall not be too small for complete coverage of the window. Shutters shall be wood. "Engineered" wood may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.

**F. Balconies.**

The following applies in all locations where balconies are incorporated into the facade design facing any street or parking lot.

1. Size. Balconies shall be a minimum of six feet deep and five feet wide.
2. Connection to Building. Balconies that are not integral (recessed) to the facade shall be independently secured and unconnected to other balconies.
3. Facade Coverage. A maximum of 50% of the front and corner side facades, as calculated separately, may be covered with balconies, including street-facing railing and balcony structure.
4. Projection Over Setback. Balconies may hang directly over set-back. They may not be over UDOT right-of-way.
5. Clearance. Balconies shall have a minimum 10' clearance.

## **10-25-503: STOREFRONT BUILDING**

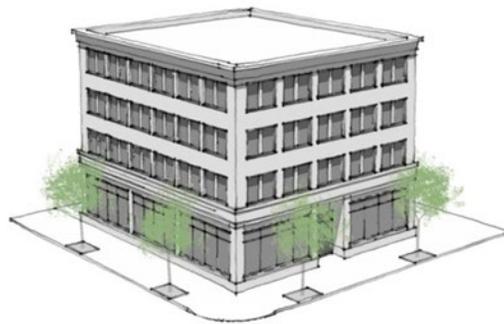
### **A. Description and Intent.**

- a. The Storefront Building is intended for use as a mixed use building located close to the front property line with parking typically in the rear or side of the lot.
- b. The key facade element of this Building Type is the storefront required on the ground floor front facade, with large amounts of glass and regularly spaced entrances.
- c. This building is available in a variety of intensities, depending on the subdistrict within which it is located.

### **B. Regulations.**

Regulations for the Storefront Building Type are defined in the adjacent table.

### **Storefront Building**



STOREFRONT BUILDING	Core	Arts & Park	C&O	Boulevard	North89
<b>(1) Building Siting</b>					
Front Property Line Coverage	90%	80%	90%	70%	70%
Front Setback Minimum and Maximum	0' to 5' <sup>4</sup>	0' to 5' <sup>4</sup>	0' to 5' <sup>4</sup>	5' to 10'	5' to 15'
Corner Setback Minimum and Maximum <sup>5</sup>	0' to 5'	0' to 5'	0' to 5'	0' to 5'	0' to 5'
Minimum Side Yard Setback	5'	5'	5'	5'	10'
Minimum Rear Yard Setback	5'	5'	5'	10'	15'
Max Impervious/Semi-Imp. Coverage	90% / 10%	80% / 20%	80% / 20%	70% / 20%	70% / 20%
Parking & Loading Location	rear yard	rear yard	rear yard	rear & side <sup>1</sup>	rear & side <sup>1</sup>
Vehicular Access	Based on frontage Street Type.				
<b>(2) Height</b>					
Minimum Overall Height	3 stories	2 stories	2 stories	2 stories	2 stories
Maximum Overall Height <sup>2</sup>	5.5 stories	3.5 stories	3.5 stories	5.5 stories	3.5 stories
Ground Story: Minimum/Max Height	14' / 30' <sup>3</sup>	14' / 24' <sup>3</sup>	14' / 24' <sup>3</sup>	14' / 18'	14' / 18'
Upper Stories: Minimum/Max Height	9' / 14'	9' / 14'	9' / 14'	9' / 14'	9' / 14'
<b>(3) Uses</b>					
Ground Story	Retail/Service	Retail/Service	Retail/Service	Permitted uses	Permitted uses
Upper Story	any permitted use				
Parking within Building	permitted fully in any basement and in rear of upper floors				
Required Occupied Space	30' deep on all full floors from the front facade				
<b>(4) Street Facade Requirements</b>					
Minimum Ground Story Transparency	65%	50%	50%	40%	40%
Minimum Transparency per Story	25%	15%	15%	15%	15%
Principal Entrance Location	front facade	front facade	front facade	front facade	front facade
One (1) Street Entrance/feet of facade	75'	75'	75'	100'	75'
Horizontal Facade Division/feet of width	30'	30'	30'	50'	30'
Vertical Facade Divisions	required 3' above visible basement or ground story to the roof line				
<b>(5) Roof Type Requirements</b>					
Permitted Roof Types	parapet, pitched, flat				
Tower	permitted	permitted	permitted	permitted	permitted

## Notes

- For side yard parking requirements, see 5.2.1 (11) (a)
- Above the third story, the upper stories of any building facade with street frontage shall have a step back from the lower stories that is a minimum of six feet.
- If 18 feet or more in height, ground story shall count as two stories towards maximum building height.
- A setback up to 20' is permitted for food and beverage service seating. Active use of space during weather-permitting seasons is required.
- Shall meet clear-view requirements.

**10-25-504: STACKED FLAT BUILDING**

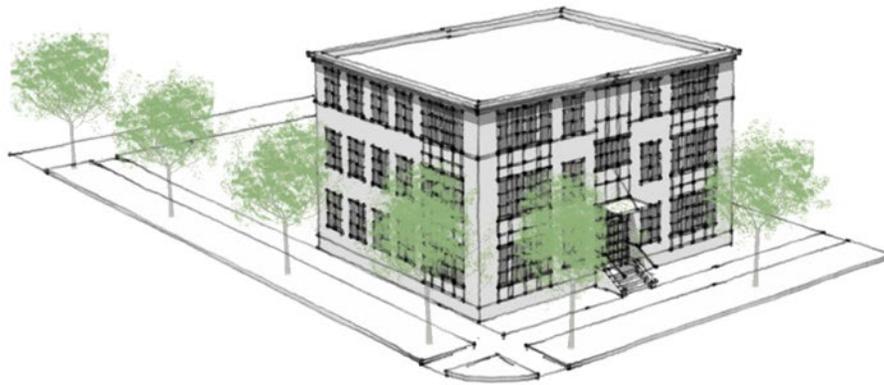
**A. Description and Intent.**

The Stacked Flats Building Type is limited in terms of uses by the subdistrict within which it is located, generally housing office and/or residential uses. Similar to the Storefront Building, the Stacked Flats is intended to be built close to the front and corner property lines allowing easy access to passing pedestrians. The key difference with this building type is that the building is likely not mixed use. Stacked Flats buildings must be five or more units, if they contain a residential use.

**B. Regulations.**

Regulations for the Stacked Flats Type are defined in the adjacent table.

**Stacked Flats Building**



<b>Stacked Flats Building</b>	<b>Core<sup>4</sup></b>	<b>Arts &amp; Park</b>	<b>C&amp;O<sup>4</sup></b>	<b>Boulevard</b>	<b>North89</b>
<b>(1) Building Siting</b>					
Front Property Line Coverage	90%	80% <sup>1</sup>	90% <sup>1</sup>	70% <sup>1 &amp; 2</sup>	70% <sup>1 &amp; 2</sup>
Front Setback Minimum and Maximum <sup>6</sup>	0' to 5' <sup>5</sup>	0' to 5' <sup>5</sup>	0' to 5' <sup>5</sup>	5' to 10'	5' to 10'
Corner Setback Minimum and Maximum <sup>6</sup>	0' to 5'	0' to 5'	0' to 5'	0' to 10'	0' to 10'
Minimum Side Yard Setback	5'	5'	5'	5'	10'
Minimum Rear Yard Setback	5'	5'	5'	10'	15'
Max Impervious/Semi-Impervious Coverage	90% / 10%	75% / 25%	60% / 20%	80% / 10%	80% / 10%
Parking & Loading Location	rear yard	rear yard	rear	rear & side <sup>2</sup>	rear & side <sup>2</sup>
Vehicular Access	Based on frontage Street Type.				
<b>(2) Height</b>					
Minimum Overall Height	3 story	2 stories	2 stories	2 stories	2 stories
Maximum Overall Height <sup>3</sup>	5.5 stories	3.5 stories	3.5 stories	5.5 stories	3.5 stories
All Stories: Minimum/Max Height	9'/14'	9'/14'	9'/14'	9'/14'	9'/14'
<b>(3) Uses</b>					
Ground Story	Any permitted use				
Upper Stories	Any permitted use				
Parking within Building	permitted fully in basement and in rear of upper floors				
Required Occupied Space	30' deep on all full floors from the front facade				
<b>(4) Street Facade Requirements</b>					
Minimum Ground Story Transparency	25%	15%	15%	15%	15%
Minimum Transparency per each Story	15%	15%	15%	15%	15%
Principal Entrance Location	front or corner facade				
Required Number of Street Entrances	1 per each 100' of front facade				
Horizontal Facade Divisions	every 40' of facade width				
Vertical Facade Divisions	required 3' above visible basement or ground story to the roof line				
<b>(5) Roof Type Requirements</b>					
Permitted Roof Types	parapet, pitched, flat				
Tower	permitted	permitted	permitted	permitted	permitted

## Notes

- 1 A courtyard covering up to 35% of the front facade is permitted and may contribute to the Front Lot Line Coverage requirement.
- 2 For side yard parking requirements, see 5.2.1 (11) (a).
- 3 Upper stories above the third story on any building facade with street frontage shall have a step back from the lower stories that is a minimum of six feet.
- 4 Not permitted fronting US 89 or Center Street.
- 5 A setback up to 20' is permitted for food and beverage service seating. Active use of space during weather-permitting seasons is required.
- 6 Shall meet clear-view requirements.

**10-25-505: LIMITED BAY BUILDING**

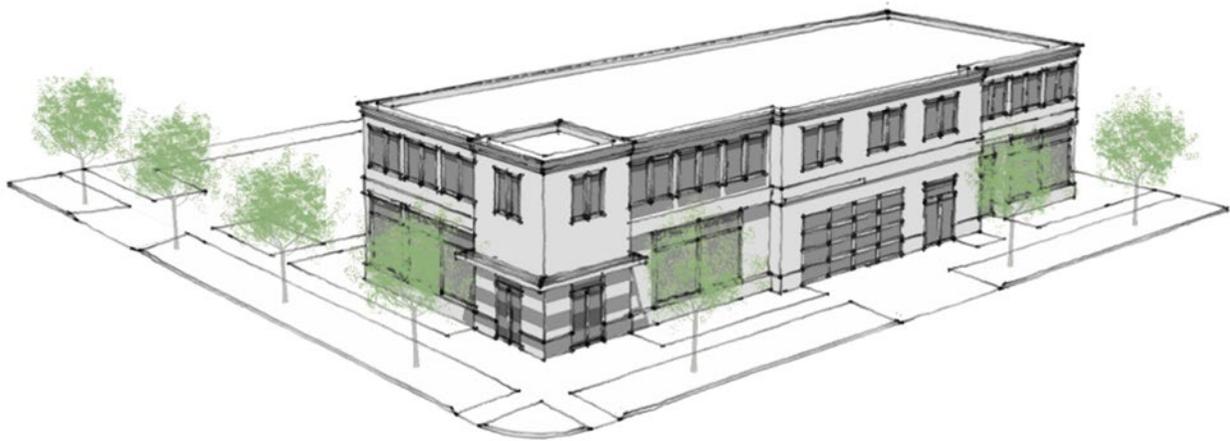
**A. Description and Intent.**

The Limited Bay Building Type permits a lower level of ground floor storefront facade and a single vehicle bay with garage door access on the Primary Street. A wider range of uses can also be accommodated within this Building Type, including craftsman industrial uses. This Building Type is still intended to be built close to the front and corner property lines allowing easy access to passing pedestrians and transit riders, and continuing the fabric of the Storefront Building Type.

**B. Regulations.**

Regulations for the Limited Bay Building Type are defined in the adjacent table.

**Limited Bay Building**



	Core	Arts & Park	C&O	Boulevard	North89
<b>(1) Building Siting</b>					
Front Property Line Coverage	75%	95% <sup>1</sup>	95% <sup>1</sup>	95% <sup>1</sup>	95% <sup>1</sup>
Front Setback Minimum and Max.	0' to 15' <sup>4</sup>	0' to 10' <sup>4</sup>	0' to 10' <sup>4</sup>	0' to 10'	0' to 10'
Corner Setback Minimum and Max.	0' to 10'	0' to 5'	0' to 5'	0' to 5'	0' to 5'
Minimum Side Yard Setback	5'	5'	5'	5'	5'
Minimum Rear Yard Setback	5'	5'	5'	5'	5'
Max Impervious/Semi-Imp. Coverage	70% / 20%	75% / 25%	75% / 25%	75% / 25%	75% / 25%
Parking & Loading	rear	rear	rear	rear & side <sup>1</sup>	rear & side <sup>1</sup>
Street Facade Service Bay Entrance	limited to one per street facade, maximum width 18'				
Vehicular Access	Based on frontage Street Type.				
<b>(2) Height</b>					
Minimum Overall Height	3 stories	1 story	2 stories	2 stories	1 story
Maximum Overall Height <sup>2</sup>	5.5 stories	3.5 stories	3.5 stories	5.5 stories	3.5 stories
Ground Story: Minimum/Maximum	14' / 24' <sup>3</sup>	14' / 24' <sup>3</sup>	14' / 24' <sup>3</sup>	14' / 24' <sup>3</sup>	14' / 24' <sup>3</sup>
Upper Stories: Minimum/Maximum	9' / 14'	9' / 14'	9' / 14'	9' / 14'	9' / 14'
<b>(3) Uses</b>					
Ground Story	retail, service, office, craftsman industrial				permitted use
Upper Story	any permitted use				
Parking within Building	permitted fully in basement and in rear of upper floors				
Required Occupied Space	30' deep on all full floors from the front facade				
<b>(4) Street Facade Requirements</b>					
Minimum Ground Story Transparency	40% , Service Bay door shall be transparent				
Minimum Transparency per Story	15%	15%	15%	15%	15%
Principal Entrance Location (façade)	Front, Corner	Front, Corner	Front, Corner	Front, Corner	Front, Corner
Required Street Entrances	1 per 100' of facade; service bay door not included				
Horizontal Facade Division Width	50'	25'	25'	25'	25'
Vertical Facade Divisions	required within 3' above ground story for all buildings over 2 stories				
<b>(5) Roof Type Requirements</b>					
Permitted Roof Types	Parapet, Pitched, Flat				
Tower	Permitted				

## Notes

- 1 For side yard parking requirements, see 5.2.1 (11) (a)
- 2 Upper stories above the third story on any building facade with street frontage shall have a step back from the lower stories that is a minimum of six feet.
- 3 If 18 feet or more in height, ground story shall count as two stories towards maximum building height.
- 4 A setback up to 20' is permitted for food and beverage service seating. Active use of space during weather-permitting seasons is required.

## 10-25-506: ROW BUILDING

### A. Description and Intent.

The Row Building is a building typically comprised of multiple vertical units, each with its own entrance to the street. This Building Type may be organized as townhouses or rowhouses, or it could also incorporate live/work units where uses are permitted. Each individual Row Building must be three or more units, except in the Edge subdistrict.

### B. Regulations.

Regulations for the Row Building type are defined in the adjacent table.

#### Row Building Flat Roof



#### Row Building Pitched



Row Building	Core <sup>4,5</sup>	A & P	C&O <sup>4</sup>	Boulevard	North89 <sup>5</sup>	Edge
<b>(1) Building Siting</b>						
Front Property Line Coverage	65% <sup>2</sup>	65% <sup>2</sup>	65% <sup>2</sup>	65% <sup>2</sup>	65% <sup>2</sup>	65% <sup>2</sup>
Corner Setback Minimum and Maximum	0' to 10'	5' to 10'	5' to 15'	5' to 15'	5' to 15'	10' to 15'
Front Setback Minimum and Maximum	0' to 10'	5' to 15'	10' to 20'	10' to 20'	10' to 20'	15' to 20'
Min./Max. Front Separation Buildings <sup>1</sup>	30' to 40'	30' to 50'	30' to 50'	30' to 50'	30' to 60'	30' to 60'
Minimum Side Yard Setback	5'	5'	5'	5'	10'	10'
Minimum Side Separation Buildings <sup>1</sup>	15'	15'	15'	15'	15'	15'
Minimum Rear Yard Setback	5'	10' <sup>3</sup>	15' <sup>3</sup>	15' <sup>3</sup>	15' <sup>3</sup>	15' <sup>3</sup>
Min./Max. Rear Separation Buildings <sup>1</sup>	30' to 40'	30' to 50'	30' to 50'	30' to 50'	30' to 60'	30' to 60'
Max Impervious/Semi-Imp. Coverage	85% / 15%	70% / 20%	65% / 20%	65% / 20%	65% / 20%	65% / 20%
Parking	rear yard	rear yard	rear yard	rear yard	rear yard	rear yard
Vehicular Access	Based on frontage Street Type.					
<b>(2) Height</b>						
Minimum Overall Height	2 stories	2 stories	2 stories	2 stories	2 stories	2 stories
Maximum Overall Height	4 stories	3 stories	3 stories	4 stories	3 stories	3 stories
All Stories: Minimum/Max Height	9' / 14'	9' / 14'	9' / 14'	9' / 14'	9' / 14'	9' / 14'
<b>(3) Uses</b>						
Ground Story	residential, service, office, limited craftsman industrial	residential only	residential only	residential only	residential only	residential only
Upper Story	residential only					
Parking within Building	permitted fully in basement and in rear of all floors					
Required Occupied Space	30' deep on all full floors from the front facade					
<b>(4) Street Facade Requirements</b>						
Minimum Transparency per each Story	15%	15%	15%	15%	15%	15%
Principal Entrance Location per Unit	front or corner side facade					
Horizontal Facade Divisions	not required					
Vertical Facade Divisions	for buildings over 3 stories					
<b>(5) Roof Type Requirements</b>						
Permitted Roof Types	flat	pitched, flat	flat	flat	pitched, flat	pitched
Tower	permitted	permitted	permitted	permitted	permitted	permitted

## Notes

1 For the purposes of the Row Building, a building consists of a series of units. When permitted, multiple buildings may be located on a lot with the minimum required space between them. However, each building shall meet all requirements of the Building Type unless otherwise noted.

## Draft 5.19.22

- 2 Each building shall meet the front property line coverage requirement, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.
- 3 Rear yard setback on alleys is five feet.
- 4 Not permitted fronting US 89 or Center Street.
- 5 Not permitted within 200' of the intersection of Center Street and US 89, or within 200' of the intersection of 350 N and US 89.

## 10-25-507: YARD BUILDING

### A. Description and Intent.

The Yard Building is a mainly residential building, incorporating a landscaped yard surrounding all sides of the building. The Yard Building can be utilized in newly developing locations to create somewhat denser traditional neighborhoods, or as a buffer to existing neighborhoods.

### B. Regulations.

Regulations for the Yard Building Type are defined in the adjacent table.

### Yard Buildings



Yard Buildings	North89 <sup>3</sup>	Edge
<b>(1) Building Siting</b>		
Front Property Line Coverage	65% <sup>1</sup>	65% <sup>1</sup>
Front Setback Minimum	10'	20'
Corner Setback Minimum	7.5'	15'
Minimum Side Yard Setback	5'	5'
Minimum Rear Yard Setback	15' <sup>2</sup>	15' <sup>2</sup>
Max Impervious/Semi-Imp. Coverage	70% / 25%	60% / 25%
Parking	rear yard/facade	rear yard/facade
Vehicular Access	Based on frontage Street Type.	
<b>(2) Height</b>		
Minimum Overall Height	1 story	1 story
Maximum Overall Height	3 stories	3 stories
All Stories: Minimum/Max Height	9' / 14'	9' / 14'
<b>(3) Uses</b>		
All Stories	residential, office, retail	residential only
Parking within Building	permitted fully in basement and in rear of all floors	
Required Occupied Space	30' deep on all full floors from the front facade	
<b>(4) Street Facade Requirements</b>		
Minimum Transparency per each Story	15%	
Principal Entrance Location per Unit	front, corner, or corner side facade	
Required Number of Street Entrances	not required	
Horizontal Facade Divisions	not required	
Vertical Facade Divisions	not required	
<b>(5) Roof Type Requirements</b>		
Permitted Roof Types	pitched, flat	
Tower	not permitted	

## Notes

- When multiple buildings are located on a single lot, each building shall meet the front property line coverage requirement, except one of every three buildings may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.
- Rear yard setback for detached garages on alleys is five feet.
- Not permitted fronting US 89 or Center Street.

**10-25-508: CIVIC BUILDING**

**A. Description and Intent.**

The Civic Building is the most flexible Building Type intended only for civic and institutional types of uses. These buildings are distinctive within the urban fabric created by the other Building Types and could be designed as iconic structures. In contrast to most of the other Building Types, a minimum setback line is required instead of a Setback Minimum and Maximum, though this setback is required to be landscaped.

**B. Regulations.**

Regulations for the Civic Building type are defined in the adjacent table.

**Civic Building**



Civic Building	Core	Arts & Park	C&O	Boulevard	North89	Edge
<b>(1) Building Siting</b>						
Front Property Line Coverage	not required					
Front Setback	5'	10'	15'	5'	5'	5'
Corner Setback	0'	5'	5'	5'	5'	5'
Minimum Side Yard Setback	5'	5'	5'	5'	5'	5'
Minimum Rear Yard Setback	5'	5'	5'	5'	5'	5'
Max Impervious/Semi-Imp. Coverage	75% / 20%	75% / 15%	75% / 15%	75% / 20%	75% / 20%	75% / 20%
Parking & Loading	rear	rear	rear	rear	rear & side <sup>1</sup>	rear & side <sup>1</sup>
Vehicular Access	Based on frontage Street Type. Refer to Section 2.					
<b>(2) Height</b>						
Minimum Overall Height	3 story	1 story	2 stories	2 stories	1 story	1 story
Maximum Overall Height	6 stories	3 stories	3 stories	5 stories	4 stories	3 stories
All Stories: Minimum/Max Height	9' / 20' <sup>2</sup>	9' / 20' <sup>2</sup>	9' / 20' <sup>2</sup>	9' / 20' <sup>2</sup>	9' / 20' <sup>2</sup>	9' / 20' <sup>2</sup>
<b>(3) Uses</b>						
All Stories	limited to civic & institutional uses only					
Parking within Building	permitted fully in basement and in rear of upper floors					
Required Occupied Space	30' deep on all full floors from the front facade					
<b>(4) Street Facade Requirements</b>						
Minimum Transparency per Story	10%					
Principal Entrance Location	front or corner facade					
Required Number of Street Entrances	1 per 100' of facade	1 per 150' of facade	1 per 150' of facade	1 per 150' of facade	1 per 150' of facade	1 per 150' of facade
Horizontal Facade Divisions	not required					
Vertical Facade Divisions	not required					
<b>(5) Roof Type Requirements</b>						
Permitted Roof Types	parapet, pitched, flat; other roof types are permitted by Conditional Use					
Tower	permitted					

## Notes

1 For side yard parking requirements, see 5.2.1 (11) (a)

2 If 18 feet or more in height, ground story shall count as two stories towards maximum building height.

## **10-25-509: ADAPTIVE REUSE BUILDING**

### **A. Description and Intent.**

Many of the existing buildings within the Town Center have the potential to be reworked into a new use. The warehouses and other buildings have value and could change to residential, office or other uses.

### **B. Regulations. Adaptive reuse is encouraged with the following general requirements:**

1. Reconstruction shall attempt to retain much of the character of the existing building.
2. Lighting shall reflect the historic nature of the building.
3. Windows shall emphasize the adjacent street. All street-facing facades shall have windows.
4. Parking shall be located to the rear of the building.
5. Planning Commission may waive certain requirements for buildings that existed prior to the adoption of this code.
6. Height. The maximum height of an adaptive reuse building is five stories in the Town Center. Additional stories are allowed on top of existing buildings to reach maximum height. Heights adjacent to single family residential zones shall be regulated by the same formula used in previous building types. If 18 feet or more in height, ground story shall count as two stories towards maximum building height.

1 CITY OF NORTH SALT LAKE  
2 PLANNING COMMISSION MEETING  
3 MAY 10, 2022

4  
5 **DRAFT**

6  
7 Commission Chair BreAnna Larson called the meeting to order at 6:30 p.m. and Ron Jorgensen  
8 led those present in the Pledge of Allegiance.

9  
10 PRESENT: Commission Chair BreAnna Larson  
11 Commissioner Ryan Holbrook  
12 Commissioner Ron Jorgensen  
13 Commissioner Katherine Maus  
14 Commissioner Irene Stone via Zoom  
15 Commissioner Brandon Tucker  
16 Commissioner William Ward  
17

18 STAFF PRESENT: Sherrie Pace, Community Development Director; Mackenzie Bennett,  
19 Planner; Ali Avery, Long Range Planner.  
20

21 OTHERS PRESENT: Brent Crowther, Kimley-Horn; Dee Lalliss, resident; Larry Pataelli  
22 Brent Albers, Rene Albers, Identity Signs.  
23

24 1. PUBLIC COMMENTS  
25

26 There were no public comments.  
27

28 2. REVIEW OF THE TOWN CENTER TRAFFIC CIRCULATION STUDY  
29

30 Ali Avery reported that in 2021 the City was awarded grant funds through the UDOT Technical  
31 Assistance Program (TAP) to hire a consultant to complete a Town Center Traffic Circulation  
32 Study. The City selected Kimley-Horn as the consultant for the project through a competitive  
33 bidding process. The goal of the study would be to obtain recommendations about how to  
34 properly support the increased traffic volumes resulting from the redevelopment of the Town  
35 Center. Active transportation recommendations were also included as part of the study.  
36

37 Staff compiled existing conditions data for an Existing Conditions Report, which was supplied to  
38 the consultant to determine how things were currently working with traffic circulation in the  
39 Town Center. Staff also provided estimations for future conditions data at build out into two  
40 phases including Phase 1 for the year 2025 and Phase 2 for the year 2040. The future conditions  
41 data assumed the following development scenarios for Phase 1 consisting of 2021 to 2025 with  
42 713 residential units, 25,000 square feet of recreation center, 57,000 square feet of office space,  
43 and 17,000 square feet of retail space. Phase 2 included 2026 to 2040 with an additional 325

44 residential units and 106,000 square feet of retail space. The consultant was asked to make  
45 predictions about how the future density and uses might impact traffic in the Town Center. They  
46 were also asked to analyze the impact of a hard closure on Main Street at Highway 89 and  
47 provided this information as Scenario 2 in their report. The Town Center Master Plan called for  
48 the realignment of the intersection of Main Street at Highway 89 but City staff requested that the  
49 consultant explore the potential ramifications of creating a dead-end in that location and  
50 potentially converting the remaining property into a plaza space. She said the consultant had  
51 produced some recommendations for improvements that should be made to Town Center streets  
52 and intersections to ensure efficient movement of traffic in the area.

53

54 Brent Crowther, Kimley-Horn, reported that they prepared the Town Center Circulation Study  
55 with the overall project purpose to review multimodal circulation and connectivity with the  
56 Town Center. The plan included identifying specific improvements to accommodate future  
57 growth and a technical evaluation of the impacts of closing the Main Street and Highway 89  
58 intersection. The key project tasks included the project kickoff, existing conditions data  
59 collection, the future conditions forecast, reviewing transportation needs and deficiencies, and  
60 the final report. He focused on the current and future conditions analysis and the final  
61 recommendations. Mr. Crowther said data was collected in September of 2021 at the  
62 intersections and showed a map of the area detailing seven turning movement counts. Data was  
63 collected during the morning and evening rush hours to determine peak hour traffic volume at  
64 the following intersections: Center Street/Main Street, US-89/Center Street, US-89/Main Street,  
65 US-89/Eagleridge Drive, Orchard Drive/Eagleridge Drive, and US-89/Eaglegate Drive.

66

67 Brent Crowther said that they had evaluated two different scenarios and spoke on Scenario 2,  
68 which was the evaluation of closing Main Street at Highway 89 with traffic rerouted accordingly  
69 and the conversion to civic space. Scenario 1 included the evaluation of 2021 existing conditions  
70 and the traffic impacts under current traffic volumes. Under the analysis of current conditions,  
71 without any reconfiguration, the primary issue was the intersection at Eaglegate and US-89,  
72 which was stop controlled out of the service station and the analysis showed it warranted a traffic  
73 signal at that intersection. All of the other intersections in the Town Center operated  
74 satisfactorily under current conditions. He explained that traffic was graded A-F by Level of  
75 Service (LOS) with Levels A-D being satisfactory conditions and that currently most streets  
76 operated at D Levels during peak times.

77

78 Mr. Crowther spoke on LOS in Scenarios 1 and 2 with the assumption that a traffic signal was  
79 constructed at the Eaglegate Drive/US-89 intersection and the Center Street eastbound right turn  
80 lane was constructed at the Center Street/US-89 intersection. He said under Scenario 2 by 2040,  
81 with the closure of the road at Main Street, certain improvements would help improve the  
82 conditions including an eastbound dedicated turn lane onto Center Street, conversion to a two-  
83 way stop with stops signs at the Center Street/Main Street intersection, replacing westbound split  
84 phasing with a separate left turn and westbound through/right phases at US-89/Eagleridge Drive,  
85 and construction of a traffic signal at US-89/Eaglegate Drive. Each of the above improvements

86 would result in a reduction in average delay per vehicle to an acceptable level. For Scenario 1 by  
87 2025 with no street closure showed all intersections operated at acceptable levels of service. For  
88 Scenario 1 by 2040 the Center/Main Street, US-89/Main Street, and the US-89/Eagleridge Drive  
89 intersections would have a LOS F during peak hours.

90  
91 Brent Crowther said the future conditions analysis for the Town Center Development by 2025  
92 included 713 residential units, 25,000 square feet of recreational space, 57,000 square feet of  
93 office, and 17,000 square feet of retail. By 2050 an additional 325 residential units and 106,000  
94 square feet of retail space was anticipated. The Trip Generation Manual by the Institute of  
95 Transportation Engineers was used to determine the impacts of this new development. Square  
96 footage and land use type data was input and the number of new vehicular trips was output. He  
97 shared a table that detailed this information and showed that Phase 1 and 2 of development  
98 combined would generate over 16,000 new daily trips with nearly 1,200 trips in the AM peak  
99 hour and 1,800 trips in the PM peak hour. One line of the table showed that traffic counts for  
100 multi-family housing units alone would generate 5,174 daily trips.

101  
102 Mr. Crowther then shared a table detailing the LOS for Scenario 1 and 2 in both 2025 and 2040  
103 by intersection. He spoke on recommendations for the intersections including two options for the  
104 Main Street/Center Street intersection with either a two way stop control or a signalized  
105 intersection. They also recommended the US-89/Center Street intersection have a dedicated  
106 eastbound right turn lane and the implementation of an eastbound right turning overlap phase.  
107 The need for a separate left turn protected and westbound through/right turn phase at US-  
108 89/Eagleridge Drive. As well as the requirement for the construction of a traffic signal at the US-  
109 89/Eaglegate Drive intersection. By implementing the recommended solutions many of the  
110 intersections would have a LOS A or B versus a LOS F by 2040.

111  
112 Commissioner Holbrook spoke on Figure 3 about existing travel volumes and the amount of  
113 traffic that traveled through the current roundabout on Orchard Drive and Eaglewood Drive and  
114 why a roundabout was not considered for the intersection at Main Street and Center Street. Brent  
115 Crowther replied that a roundabout was considered but there was not enough land to  
116 accommodate this.

117  
118 Commissioner Maus inquired about the recommendations within Scenario 2 to close Main Street  
119 and further recommendations if the City did not end up going that route. Brent Crowther  
120 responded that if the City did not close the intersection at Main Street and Highway 89 that there  
121 was not a need for the eastbound right turn lane on Center Street. He said they did not do a  
122 detailed analysis of the 2040 Scenario 1 mitigated by an eastbound right turn lane on Center  
123 Street as there was a focus on if Main Street was closed and the impacts.

124  
125 Commissioner Tucker asked if the current traffic conditions warranted a signal at Eaglegate  
126 Drive. Brent Crowther said a preliminary warrant analysis and threshold volumes showed the

127 area did warrant a traffic signal. This would be at the discretion of UDOT who would conduct  
128 their own study.

129  
130 Commissioner Tucker questioned why the study used projected traffic based on land use when  
131 the City knew what full build out would look like for the Eaglegate intersection. Brent Crowther  
132 replied that the area was still under construction so the future traffic projections were based on  
133 what was there now, what was under construction, and then vehicular trips that would result  
134 upon completion of construction. He said the data was based on planned residential units.

135  
136 Commissioner Jorgensen spoke on the example of Center Street and Main Street and the utility  
137 of deflecting southbound traffic to 350 North and Highway 89. Brent Crowther responded that  
138 there were effective measures such as a two way stop control on Main Street and a free running  
139 Center Street would encourage some drivers to find alternate routes such as Highway 89.

140  
141 Commissioner Holbrook asked about changes per UDOT and the analysis for the year 2040.  
142 Brent Crowther confirmed that this study did not take the ongoing I-15 study into consideration.  
143 He said there may be significant changes with that project but they had not modeled those  
144 variants. Some of the big changes may include access to Redwood Road and Center Street,  
145 which would result in less truck traffic.

146  
147 Chair Larson asked about the decision for a traffic signal at the Center and Main Street  
148 intersection. Sherrie Pace replied that the City Council would make the final decision as it would  
149 be weighing the financial cost with the effect on traffic, infrastructure changes, and impact on the  
150 apartment complexes there.

151  
152 Commissioner Tucker commented that the train crossing was causing vehicles to queue on  
153 Center Street, which could expand into Highway 89 unless something was done to remedy the  
154 situation. Sherrie Pace replied that staff was aware of this issue.

155  
156 Ali Avery said that this item did not require a motion by the Planning Commission and was just  
157 for review. This study would be presented to the City Council next week. She commented that if  
158 the plaza option became a reality then that plan would come before the Commission for review.

159  
160 3. CONSIDERATION OF A CONDITIONAL USE PERMIT FOR BAE INDOOR GOLF  
161 AT 490 EAST 1000 NORTH, NICK UJIFUSA, BAE INDOOR GOLF, APPLICANT

162  
163 Sherrie Pace reported that the applicant had withdrawn their application.

164  
165 4. CONSIDERATION OF A CONDITIONAL USE PERMIT FOR CYPRUS CREDIT  
166 UNION'S ELECTRONIC SIGN AT 450 EAST 1100 NORTH, BRENT ALBERS,  
167 IDENTITY SIGNS, APPLICANT

168

169 Mackenzie Bennett reported that staff received a site plan application last year to convert the  
170 former Village Inn on 2600 South into a Cyprus Credit Union. The applicant representing  
171 Cyprus Credit Union applied for a conditional use permit for an electronic sign to be located at  
172 450 East 1100 North in the Commercial Shopping (CS) and S-2 sign overlay zone. In the S-2  
173 zone all illuminated, animated, and electronic message center signs are a conditional use. City  
174 code also required signs in the S-2 zone be a maximum of 30 feet tall and have a maximum sign  
175 area of 150 square feet per face.

176  
177 The existing pole sign on the property, that was used for Village Inn, was 34 feet tall by 15.3 feet  
178 wide and was not an electronic message sign. The existing sign face was 165 square feet in size  
179 and was a legal nonconforming structure that could be maintained, repaired, and altered but not  
180 enlarged or moved per City code 10-5.

181  
182 Identity Signs, on behalf of Cyprus Credit Union, applied for a conditional use permit to remove  
183 the head of the existing pole sign and replace it with a new head featuring an electronic message  
184 center. The poles supporting the sign would not be moved or altered and this permit would just  
185 be to replace the head of the sign. The new sign would be 33 feet tall by 14 feet with a sign face  
186 of 161 square feet. The new sign head would be larger than what the current code allowed for but  
187 smaller than the existing sign head. Due to the sign size not being enlarged and the pole  
188 placement not being altered, the sign would still be considered a legal nonconforming structure.

189  
190 This conditional use permit would only address the message center component of the sign and a  
191 completed building permit application would need to be submitted and reviewed by the City to  
192 ensure compliance with all applicable sign code regulations prior to the issuance of a building  
193 permit. City code 10-4-13 required that all electronic message signs comply with the following  
194 provisions including that an electronic message sign shall be equipped with a sensor or other  
195 device that automatically determines the ambient illumination and must be programmed to  
196 automatically dim according to ambient light conditions, that the duration of each display shall  
197 be a minimum of eight (8) seconds, and that the transition time between messages shall be no  
198 greater than three (3) seconds.

199  
200 The Development Review Committee (DRC) recommended approval of the conditional use  
201 permit to install an electronic message center sign for Cyprus Credit Union with the condition  
202 that a building permit must be obtained prior to the installation of the sign.

203  
204 Commissioner Stone commented that the new sign face would be smaller than the existing sign  
205 but still larger than what was permitted by City code. Sherrie Pace replied that the existing sign  
206 was considered legal nonconforming, which meant the sign could be replaced with the same or  
207 less square footage as the current sign but could not be any larger.

208

209 Mackenzie Bennett spoke on the legal nonconforming status in that it was a determination that  
210 staff made which in this instance meant that when the sign was originally built, it was in  
211 compliance with the code of that day.

212  
213 Commissioner Stone asked about the how the square footage was calculated on the existing  
214 Village Inn sign. Mackenzie Bennett clarified that both parts of the existing two part “Village Inn  
215 Restaurant” sign counted towards the total allowed square footage per face. She explained that  
216 the proposed signage for Cyprus was smaller in both square footage and height.

217  
218 Commissioner Stone questioned if there were guidelines that required the signage be repaired  
219 within a certain amount of time in the event of malfunction. Sherrie Pace replied that there was  
220 not a standard in City code for this. She said if someone did violate the lighting/dimming  
221 component it would be reported to UDOT who could cite the owner.

222  
223 Mackenzie Bennett commented that City code did require signage to be kept in good condition  
224 and maintained properly. If a sign did become an issue code enforcement could be notified and  
225 the owner would receive notice to comply.

226  
227 Chair Larson asked about the reason the sign would not be non-conforming as the use of the  
228 building was changing. Sherrie Pace replied that the City could not regulate the message/content  
229 on the sign but could regulate the size, height, and placement of the structure.

230  
231 Mackenzie Bennett explained that the legal non-conforming code stated that it did not matter if  
232 the property changed hands but the sign structure itself had rights. If the structure or use stopped  
233 for more than 365 days, it would lose the non-conforming status.

234  
235 **Commissioner Maus moved that the Planning Commission approve the conditional use**  
236 **permit for an electronic message center sign for Cyprus Credit Union located at 450 East**  
237 **1100 North subject to the following condition:**

238  
239 **(1) A building permit must be obtained prior to the installation of the sign.**

240  
241 **Commissioner Ward seconded the motion. The motion was approved by Commissioners**  
242 **Holbrook, Jorgensen, Larson, Maus, Stone, Tucker and Ward.**

243  
244 5. PUBLIC HEARING: CONSIDERATION OF PROPOSED AMENDMENTS TO THE  
245 NORTH SALT LAKE CITY CODE, TITLES 7, 8, & 10 RELATED TO LANDSCAPE  
246 REGULATIONS AND WATER CONSERVATION FOR ALL PROPERTIES WITHIN  
247 THE CITY

248

249 Sherrie Pace reported that the State legislature prioritized water conservation and required cities  
250 to pass water efficient and water wise landscaping ordinances in light of the recent drought  
251 conditions. Additionally, she said that in order for residents to participate in the Flip the Strip  
252 program through Weber Basin Water, the City had to adopt a water wise landscape ordinance.  
253 Weber Basin Water has provided a model ordinance and recommendations for the proposed  
254 ordinance. City staff researched other community ordinances in Davis and Salt Lake Counties for  
255 inclusion within the proposed amendments. Weber Basin Water made the following  
256 recommendations for residential properties including indoor WaterSense plumbing fixtures for  
257 new construction and for outdoor areas a drip irrigation in non-lawn areas, irrigation valves in  
258 zones, WaterSense controllers with rain delay, 3" mulch in planting beds, no lawns in the park  
259 strips particularly with slopes greater than 25% or areas less than 8", and lawns limited to 35% of  
260 the landscape area. Recommendations for commercial and multifamily included limiting lawn  
261 area to 15% of the total landscaped area and prohibiting lawns in parking lots and buffer areas.  
262

263 Sherrie Pace said that the most critical policy recommendation related to the maximum allowed  
264 turf area. This recommendation would be that no more than 35% of the total landscaped area for  
265 single family lots be allowed to be planted in grass. She showed multiple examples of existing  
266 lots throughout the City compared to the proposed percentages of landscaping.  
267

268 Commissioner Tucker clarified that staff was leaning towards a percentage of the total lot.  
269 Sherrie Pace replied affirmatively that she recommended 25% of the total lot.  
270

271 Sherrie Pace reported that the Planning Commission was required to hold a public hearing and  
272 make a recommendation to the City Council for amendments to the Land Use Regulations  
273 located in Title 10. Any other changes outside of the Land Use Ordinance were required to  
274 prevent conflicting regulations in City code and therefore those changes had been included with  
275 the proposed amendments.  
276

277 Commissioner Holbrook asked if the proposed changes were recommended or enforceable.  
278 Sherrie Pace responded that whatever requirements were placed in the ordinance would be  
279 enforceable. She said that existing lawns and landscaping would not be affected by the proposed  
280 changes. These requirements would apply to new homes and commercial or multifamily  
281 properties as well as existing homeowners if they removed their existing landscaping. She said  
282 that the Flip the Strip program and requirements would only apply to the park strips.  
283

284 Sherrie Pace showed an example of a commercial use and suggested the City could require a  
285 minimum of 10% of the lot be landscaped, and permit only 5% as sod. She said the only  
286 exception would be recreational uses such as a recreational field for multifamily housing.  
287

288 Commissioner Holbrook asked about increasing the minimum required landscaping. Sherrie  
289 Pace said the two options were to increase the minimum required landscaping or to have a cap at  
290 the maximum of 5% of the lot as lawn.

291 Commissioner Jorgensen said grass was very water intensive and how most park strips were not  
292 well maintained. He also mentioned how most industrial uses did not need thousands of square  
293 feet of lawn and suggested a cap. Sherrie Pace replied that she did not have an issue with this  
294 suggestion but spoke on the difficulty of identifying an appropriate number as lot sizes varied so  
295 much.

296  
297 Commissioner Holbrook asked about a minimum percentage of lawn that may be required.  
298 Sherrie Pace responded that there was not a minimum and a resident could install no grass.  
299

300 Commissioner Maus questioned if there was a limit on impervious surfaces. She also asked  
301 about requiring vegetation. Sherrie Pace said that there was a need to limit the amount of  
302 impervious surface, which was already built into the City code. She mentioned the requirement  
303 that 35% of the park strip must be plant material at maturity.  
304

305 Sherrie Pace showed examples of different park strip exhibits from LocalScapes including those  
306 with blooming plants, full sun, minimalism, etc. She said some of the other features in the  
307 ordinance included the different plant materials, the soil preparation, irrigation, design, and  
308 erosion control measures. Other items included addressing property owners who wasted water  
309 ranging from personal contact, citations, and penalties. Ms. Pace said the goal was education and  
310 felt this draft ordinance would provide more information for property owners.  
311

312 Commissioner Jorgensen mentioned the applicability provision in City code section 10-22-3 for  
313 those interested in participating in the Flip the Strip program. He asked if residents would need  
314 to obtain approval from the City prior to participation in that program. Sherrie Pace replied that  
315 they would not need a permit from the City but would need to register with Weber Basin Water  
316 for the rebates. Those participating in the program would be required to take the class, provide  
317 before and after pictures, provide receipts, and an inspection for adherence to city standards.  
318

319 Commissioner Stone clarified that the percentage of lawn was not specified in City code. She  
320 said that before residents could participate in the rebate programs the City had to specify a  
321 certain amount/percentage. Sherrie Pace replied affirmatively and said the City Council would  
322 determine the percentage based on the recommendation from the Commission. She said that  
323 requirement was to indicate to Weber Basin that the changes to the ordinance showed a savings  
324 of water.  
325

326 Commissioner Maus proposed several recommendations including all landscaping requirements  
327 be a 15% minimum for commercial and multifamily projects. She also suggested separating  
328 multifamily from commercial as she was inclined to allow more turf for multifamily for  
329 recreational use. Commissioner Maus suggested that new commercial and multifamily have  
330 separate independent irrigation for trees. She also recommended 35% vegetation coverage not  
331 only in the park strips but in all landscaped areas. Sherrie Pace replied that the 35% coverage  
332 would require a landscaping plan showing plantings at full maturity.

333 Commissioner Holbrook asked about adopting 0% plant coverage in the park strip and to allow  
334 100% impervious surfaces. Sherrie Pace replied that plant material in the park strip would  
335 improve the visual appeal and addressed heat issues.

336  
337 Mackenzie Bennett commented how the park strips were public utility easements so impervious  
338 surfaces would be an issue if a utility was serviced. Sherrie Pace said this would be a stormwater  
339 issue as well as the park strip was a secondary place for water to drain.

340  
341 Commissioner Stone asked how the percentage of required landscaping should be determined.  
342 Sherrie Pace replied that staff could provide additional resources for review. She said the City  
343 Council would like to review this ordinance at their next meeting.

344  
345 **Chair Larson opened the public hearing at 7:27 p.m.**

346  
347 Dee Lalliss spoke on the amount of lawn that could be installed. He gave the example of a two  
348 acre lot and suggested that the City have a limit or a maximum amount of that lot that could be  
349 grass. Mr. Lalliss was in favor of separating the requirements for multifamily and commercial  
350 uses as he felt the City should encourage zero lawn for commercial. He mentioned several  
351 grammatical and formatting errors as well as his landscaping recommendations including  
352 avoiding heat collection, using mulch, etc.

353  
354 **Chair Larson closed the public hearing at 7:32: p.m.**

355  
356 Commissioner Jorgensen suggested grammatical changes such as replacing “his” with “their”,  
357 etc.

358  
359 Chair Larson spoke on the determinations that needed to be made including the differentiation of  
360 lot size and landscaping and what the percentage would be based on. Commissioner Jorgensen  
361 commented that staff recommended 25% for residential lots. He suggested a limit on the  
362 maximum square footage calculated by taking the total lot size and that the lawn area could not  
363 exceed x number of square feet.

364  
365 Commissioner Ward asked about the largest lawn area in the City and said this would only apply  
366 to a few instances in the City. He suggested 8,000 square feet as the maximum square footage or  
367 25% of the lot.

368  
369 Chair Larson then asked for feedback on increasing the total landscaping requirements from 10%  
370 to 15% commercial and industrial and having a lawn caveat. Sherrie Pace recommended a  
371 maximum of 5,000 square feet of lawn.

372  
373 Commissioner Maus recommended that commercial increase the total landscaping requirement  
374 to 15% and limit the lawn to 15% of the landscaped area. The landscaping requirement for

375 multifamily would be 25% of the lot could be lawn. Commissioner Ward suggested for  
376 multifamily that the total landscaping requirement be 15% and that 25% of the total lot could be  
377 lawn.

378  
379 Sherrie Pace commented that there was an exception to allow a property owner to exceed the  
380 maximum amount of lawn area on multifamily when it was designated for specific recreational  
381 uses.

382  
383 Chair Larson asked for feedback on the limit of 5,000 or 8,000 square feet of lawn based on the  
384 Commission's discussion.

385  
386 Commissioner Ward proposed 15% with a maximum lawn of 5% and a total maximum of 5,000  
387 square feet for commercial properties. The Commission was in favor of this proposal.

388  
389 Commissioner Stone asked if there was a minimum landscaping requirement for commercial  
390 properties. Sherrie Pace replied that the current code requires 10% of the property to be  
391 landscaped. The suggestion was that the minimum landscaping would be 15% but the maximum  
392 amount of lawn would be 5% of the lot or 5,000 square feet whichever was smaller.

393  
394 Commissioner Ward proposed a single family/residential maximum landscaped area of 25% of  
395 the total lot with a maximum of 8,000 square feet.

396  
397 The Commission discussed reducing the maximum for single family lots to 5,000 or 6,500  
398 square feet.

399  
400 Commissioner Maus asked about the need to require 35% plant coverage within the landscaping  
401 including the park strip for residential, commercial, and multifamily. Sherrie Pace questioned if  
402 this included the tree coverage and shrubs.

403  
404 Commissioner Stone spoke on the code requirement that new yards must be installed within 12  
405 months. She said plants/trees were expensive and these requirements could be unsettling to  
406 residents. Chair Larson replied that this included rebate programming and water conservation  
407 which may seem uncomfortable.

408  
409 Commissioner Maus said the impetus for eliminating turf was that the City should require more  
410 shade and plant material to mitigate urban heat islands but did not want to require residents to  
411 need a formal landscaping plan. Sherrie Pace commented that there could be some requirements  
412 such as requiring trees for every 200-500 square feet of landscaping.

413  
414 Commissioner Stone said overall she liked the idea and outcome but expressed concern for how  
415 difficult it may be for some residents to qualify for the Flip the Strip program, etc. Sherrie Pace

416 replied that when she attended the Flip the Strip class, there were many ways to meet the  
417 requirements including converting your existing sprinkler heads to a drip system.

418  
419 Commissioner Jorgensen commented that his concern was setting an amount that required  
420 residents to plant too many trees and that the trees would die due to the lack of deep watering  
421 with the drought.

422  
423 Commissioner Ward said the park strip percentage was 33% plant material and if this should be  
424 revised. He asked if this was part of Weber Basin's requirement as he felt that percentage was  
425 too high. Commissioner Ward commented that he would personally prefer 0% live material in  
426 the park strip.

427  
428 Commissioner Larson asked about separate irrigation for trees. Commissioner Maus  
429 recommended this requirement for multifamily and commercial uses. Sherrie Pace would add  
430 this requirement to the amendments.

431  
432 Commissioner Ward proposed 15% minimum landscaping with a maximum lawn of 10% and a  
433 total maximum of 5,000 square feet for multifamily with an exception for recreational uses.  
434 Commissioner Tucker was in favor of this proposal.

435  
436 **Commissioner Holbrook moved that the Planning Commission recommend approval to the**  
437 **City Council related to landscaping regulations and water conservation with the following**  
438 **amendments to the proposed language:**

- 439
- 440 (1) **That commercial total landscape be increased to 15% of the lot size with a**  
441 **maximum of 5% lawn;**
  - 442 (2) **Multifamily dwellings to have a minimum of 15% landscaping with a maximum of**  
443 **10% lawn;**
  - 444 (3) **Individual residential to have 25% maximum lawn or 6,500 square feet whichever is**  
445 **smaller;**
  - 446 (4) **Requirements for drip irrigation for trees; and**
  - 447 (5) **That the sections of the code language be changed to gender neutral and other**  
448 **typographical errors as discussed.**

449  
450 **Commissioner Ward seconded the motion.**

451  
452 Staff and the Commission suggested amendments including the addition of a maximum of 5,000  
453 square feet except for approved recreational areas for multifamily dwellings, the requirements  
454 for drip irrigation for trees, and that all the code language be changed to gender neutral and other  
455 typographical errors.

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**Commissioner Holbrook amended his motion to include:**

- (1) That commercial total landscape be increased to 15% of the lot size with a maximum of 5% lawn and a maximum of 5,000 square feet;**
- (2) Multifamily dwellings to have a minimum of 15% landscaping with a maximum of 10% lawn and a maximum of 5,000 square feet with the exception of approved recreational areas;**
- (3) Individual residential to have 25% maximum lawn or 6,500 square feet whichever is smaller;**
- (4) Requirements for drip irrigation for trees; and**
- (5) That the sections of the code language be changed to gender neutral and other typographical errors as discussed.**

**Commissioner Maus seconded the amended motion.**

Commissioner Jorgensen expressed concern about the requirement of 33% live plant material in the park strips.

**Commissioner Ward amended the motion to reduce the live plant material to 0% and eliminate this as a requirement in the park strips. Commissioner Maus seconded the amended motion.**

Sherrie Pace clarified that the way the amendment was drafted to allow the homeowner to determine how much plant material they would like on their actual lot.

**The motion was approved by Commissioners Holbrook, Jorgensen, Larson, Maus, Stone, Tucker and Ward.**

Commissioner Tucker asked about sections of the ordinance including Section 10-22 where it mentioned lessening artificial light glare and also reducing carbon dioxide from automobiles. He also mentioned Section 8 and terminating the use of culinary water related to residential drinking water. Sherrie Pace replied that those items in Section 10 could be removed. She said the item in Section 8 was already part of the code.

**6. REPORT ON CITY COUNCIL ACTIONS RECOMMENDED BY PLANNING COMMISSION**

Sherrie Pace reported that she presented the Planning Commission priorities to the City Council.

**7. APPROVAL OF MINUTES**

496

497 The Planning Commission meeting minutes of April 26, 2022 were reviewed and approved.

498

499 **Commissioner Jorgensen moved to approve the minutes as drafted for the April 26, 2022**  
500 **meeting. Commissioner Tucker seconded the motion. The motion was approved by**  
501 **Commissioners Holbrook, Jorgensen, Larson, Maus, Stone, Tucker and Ward.**

502

503 8. ADJOURN

504

505 Commission Chair Larson adjourned the meeting at 9:03 p.m.

506

507 *The foregoing was approved by the Planning Commission of the City of North Salt Lake on*  
508 *Tuesday, May 24, 2022 by unanimous vote of all members present.*

509

510

511 \_\_\_\_\_  
*Wendy Page, City Recorder*